

V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2 PUD PROJECT DEVELOPMENT STANDARDS

TABLE 9.L.1 PERMITTED PRINCIPAL USES

PRINCIPAL USE	CD-1	CD-2	CD-3L	CD-3	CD-4	CD-EH	CD-IH	CD-CV
AUTOMOTIVE								
Automobile Service	NP	NP	NP	NP	CU	NP	CU	NP
Automobile Repair / Body Shop	NP	NP	NP	NP	CU	NP	CU	NP
Gasoline	NP	NP	NP	NP	CU	NP	CU	NP
Truck Maintenance	NP	NP	NP	NP	CU	NP	CU	NP
Other Automotive Uses Not Specifically Listed under any Category	NP	NP	NP	NP	NP	NP	NP	NP
CIVIL SUPPORT & INSTITUTIONAL								
Cemetery	NP	CU	CU	NP	NP	NP	NP	P
Fire/EMS Station	NP	NP	P	P	P	P	P	P
Funeral Home	NP	NP	NP	NP	P	NP	NP	NP
Hospital	NP	NP	NP	NP	P	P	NP	NP
Rehabilitation Facility	NP	NP	NP	NP	P	P	P	NP
Long-Term Care Facility	NP	NP	NP	NP	P	P	P	NP
Medical Clinic	NP	NP	NP	NP	P	P	P	NP
Police Station	NP	NP	P	P	P	P	P	P
Other Civil Support or Institutional Uses Not Specifically Listed under any Category	NP	NP	NP	NP	NP	NP	NP	NP
EDUCATIONAL								
Childcare Center, Nursery, Pre-School	NP	NP	NP	NP	P	P	P	P
College/University	NP	NP	NP	NP	NP	P	NP	P
Elementary School	NP	NP	NP	NP	NP	P	NP	P
High School	NP	NP	NP	NP	NP	P	NP	P

TABLE 9.L.1 PERMITTED PRINCIPAL USES

PRINCIPAL USE	CD-1	CD-2	CD-3L	CD-3	CD-4	CD-EH	CD-IH	CD-CV
Personal Improvement Education	NP	NP	NP	NP	NP	P	NP	P
Public Educational Facilities	NP	CU	CU	CU	CU	CU	NP	CU
Junior High School	NP	NP	NP	NP	NP	P	NP	P
Trade or Business School	NP	NP	NP	NP	NP	P	NP	P
Other Educational Use Not Specifically Listed under any Category	NP	NP	NP	NP	NP	NP	NP	NP
RECREATION & ENTERTAINMENT								
Amphitheater	NP	NP	NP	NP	P	P	NP	P
Arena	NP	NP	NP	NP	NP	NP	NP	NP
Bowling Alley	NP	NP	NP	NP	P	NP	P	NP
BMX Track	NP	CU	NP	NP	NP	NP	NP	NP
Campground / RV Park	NP	P	NP	NP	NP	NP	NP	NP
Miniature Golf	NP	NP	NP	NP	P	NP	NP	NP
Motocross (MX) Motorized	NP	NP	NP	NP	NP	NP	NP	NP
Mudbogging	NP	NP	NP	NP	NP	NP	NP	NP
Dance Halls	NP	NP	NP	NP	P	NP	NP	NP
Golf Driving Range / Course	NP	CU	NP	NP	NP	NP	NP	NP
Indoor Shooting Range	NP	CU	NP	NP	NP	NP	NP	NP
Skating Rink / Skate Parks	NP	NP	NP	NP	CU	NP	NP	NP
Indoor Theatre (commercial)	NP	NP	NP	NP	P	P	NP	NP
Outdoor Drive-in Theaters, Private Arenas and Auditoriums	NP	CU	NP	NP	NP	NP	NP	NP
Outdoor Shooting Range	NP	NP	NP	NP	NP	NP	NP	NP

TABLE 9.L.1 PERMITTED PRINCIPAL USES

PRINCIPAL USE	CD-1	CD-2	CD-3L	CD-3	CD-4	CD-EH	CD-IH	CD-CV
Recreation Facility (Privately Owned & Operated and Open to paying Public)	NP	NP	NP	NP	CU	NP	CU	NP
Rural Event Center	NP	CU	NP	NP	NP	NP	NP	NP
Swimming Pool	NP	NP	NP	NP	NP	NP	NP	CU
Stadium	NP	NP	NP	NP	NP	NP	NP	NP
Youth Camp	NP	CU	NP	NP	NP	NP	NP	NP
Other Recreation or Entertainment Uses Not Specifically Listed under any Category	NP	NP	NP	NP	NP	NP	NP	NP
INDUSTRIAL & UTILITIES								
Communication Antennas and Communication Towers	CU	CU	CU	CU	CU	CU	CU	CU
Electric Substation	CU	CU	CU	CU	CU	CU	CU	CU
Hazardous or Nuisance Uses	NP	NP	NP	NP	NP	NP	NP	NP
Heavy Industrial	NP	NP	NP	NP	NP	NP	NP	NP
Light Industrial Facility	NP	NP	NP	NP	P	P	P	NP
Public and/or Private Sewer Facilities and Waste Facilities	NP	CU	NP	NP	NP	NP	NP	CU
Radio, Television, Microwave Relay Stations or Towers (See Table 9.L.2 for related Accessory Equipment and Accessory Buildings)	NP	CU	CU	CU	CU	CU	CU	NP
Research or Laboratory Facility	NP	NP	NP	NP	P	P	P	NP
Rock Crushing, Rock or Sand Storage Yard, or Stone Cutting	NP	NP	NP	NP	NP	NP	NP	NP
Solar Farm	NP	CU	NP	NP	NP	NP	NP	NP
Trench Sanitary Landfill	NP	CU	NP	NP	NP	NP	NP	NP

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TABLE 9.L.1 PERMITTED PRINCIPAL USES

PRINCIPAL USE	CD-1	CD-2	CD-3L	CD-3	CD-4	CD-EH	CD-IH	CD-CV
Water Supply Facility	NP	NP	NP	NP	NP	NP	NP	CU
Wireless Transmitter	CU	CU	CU	CU	CU	CU	CU	CU
Other Industrial or Utilities Not Specifically Listed under any Category	NP	NP	NP	NP	NP	NP	NP	NP
OTHER								
Correctional Facility	NP	NP	NP	NP	NP	NP	NP	NP
Flea Market	NP	NP	NP	NP	NP	NP	NP	NP
Heliports and Helipads	NP	CU	NP	NP	CU	NP	NP	NP
Horse Hotel	NP	CU	NP	NP	NP	NP	NP	NP
Landing Strips	NP	CU	NP	NP	NP	NP	NP	NP
Medical Marijuana Treatment Center Dispensing Facilities	NP	NP	NP	NP	CU	NP	NP	NP
Mini-Warehouse	NP	NP	NP	NP	NP	NP	NP	NP
Mobile Businesses	NP	NP	NP	NP	NP	NP	NP	NP
Portable Storage Structure	NP	NP	NP	NP	NP	NP	NP	NP
Recreational Vehicle / Boat Storage	NP	CU	NP	NP	CU	NP	NP	NP
Other Uses Not Specifically Listed under any Category	NP	NP	NP	NP	NP	NP	NP	NP

(3) Accessory Uses.

In addition to the Principal Uses permitted pursuant to **Tables 9.B.1 – 9.B.8 (Character District Standards)** and **Table 9.L.1 (Permitted Principal Uses)**, Lots, Buildings, Civic Space, and Accessory Uses thereof must conform to the Accessory Uses specified in **Table 9.L.2 (Permitted Accessory Uses)**. In addition, the following Accessory Uses are allowed as Accessory Uses without limitation to other Accessory Uses that may be permitted.

TABLE 9.L.2 PERMITTED ACCESSORY USES

ACCESSORY USE	CD-1	CD-2	CD-3L	CD-3	CD-4	CD-EH	CD-IH	CD-CV
4H-Style Small Animal Keeping	NP	P	NP	NP	NP	NP	NP	NP
Accessory Buildings/Facilities of a Retreat Center (excluding a Retreat comprised of Hospitality Buildings)	NP	CU	NP	NP	NP	NP	NP	CU
Accessory Dwelling Unit	NP	CU	CU	CU	NP	NP	NP	NP
Accessory Structure (≤ 1 Accessory Building) in Third Layer of any District except in CD-1, CD-2, or CD-3L, including without limitation non-commercial greenhouses and plant nurseries, Garages, boat shelters, tool-houses, sheds, garden work centers, children's play areas, play equipment, barbecue pits, swimming pools, swimming pool enclosures, and similar Structures	NP	NP	P	P	P	P	P	P
Agricultural Accessory Structure (≤ 2 Accessory Buildings) in Second or Third Layer of CD-2 or CD-3L	NP	P	P	NP	NP	NP	NP	NP
Agricultural Livestock Pond	NP	CU	NP	NP	NP	NP	NP	NP
Agricultural Pursuits (Non-commercial to same extent as if in Zone AR-2)	NP	P	NP	NP	NP	NP	NP	NP
Apiculture (Hobbyist)	NP	CU	CU	CU	NP	NP	NP	NP
Aviculture (Accessory to a Residential or Agricultural Principal Use)	NP	CU	NP	NP	NP	NP	NP	NP
Carport	NP	NP	NP	NP	NP	NP	NP	NP
Borrow Pit	NP	CU	NP	NP	NP	NP	NP	NP

TABLE 9.L.2 PERMITTED ACCESSORY USES

ACCESSORY USE	CD-1	CD-2	CD-3L	CD-3	CD-4	CD-EH	CD-IH	CD-CV
Chickens, Backyard Residential	NP	CU	CU	CU	NP	CU	NP	NP
Drive-Through Facility	NP	NP	NP	NP	CU	NP	CU	NP
Fences	NP	CU	CU	CU	CU	CU	CU	NP
Garages	NP	CU	CU	CU	CU	CU	CU	CU
Home Occupations	NP	CU	CU	CU	CU	CU	CU	NP
Horse Hotel	NP	CU	NP	NP	NP	NP	NP	NP
In-Home Day Care	NP	NP	NP	NP	NP	NP	NP	NP
Keeping Domesticated Cats & Dogs (≤ 6 total animals per household over six months old)	NP	CU	CU	CU	CU	CU	CU	NP
Mobile Home for Medical Hardship	NP	CU	NP	NP	NP	NP	NP	NP
Non-Agricultural Accessory Structure (≤ 1 Accessory Building) in Second or Third Layer of CD-2 or CD-3L, including without limitation non-commercial greenhouses and plant nurseries, Garages, boat shelters, tool-houses, sheds, garden work centers, children's play areas, play equipment, barbecue pits, swimming pools, swimming pool enclosures, and similar Structures	NP	P	P	NP	NP	NP	NP	NP
Outside Storage	NP	NP	NP	NP	NP	NP	NP	NP

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TABLE 9.L.2 PERMITTED ACCESSORY USES

ACCESSORY USE	CD-1	CD-2	CD-3L	CD-3	CD-4	CD-EH	CD-H	CD-CV
On-Premises consumption of alcoholic beverages by residents and their guests within Recreation- and clubhouse-type facilities developed as part of the PUD	NP	P	P	P	P	P	P	P
Private Pond	NP	CU	CU	CU	CU	CU	CU	NP
Radio, Television, Microwave Relay Stations or Towers and Accessory Equipment Buildings	NP	CU	CU	CU	CU	CU	CU	NP
Land Application of Domestic Septage	NP	CU	NP	NP	NP	NP	NP	NP
Non-commercial Breeding, Raising, Grazing, or Keeping of animals, fowl, and insects as would be allowed in Zone AR-1	NP	CU	NP	NP	NP	NP	NP	NP
Stable for use by Resident	NP	CU	NP	NP	NP	NP	NP	NP
Swimming Pool for use by Resident	NP	CU	CU	CU	CU	CU	CU	P
Wireless Transmitter	CU	CU	CU	CU	CU	CU	CU	CU
Other Accessory Uses	NP	NP	NP	NP	NP	NP	NP	NP

(4) Temporary Uses.

In addition to permitted Principal Uses and Accessory Uses, Temporary Uses must conform to the Temporary Uses specified in **Table 9.L.3 (Permitted Temporary Uses)**.

TABLE 9.L.3 PERMITTED TEMPORARY USES

TEMPORARY USE	CD-1	CD-2	CD-3L	CD-3	CD-4	CD-EH	CD-H	CD-CV
Construction office trailer	NP	P	P	P	P	P	P	NP
Festival or Fair	NP	P	P	P	P	P	P	P
Garage Sales to same extent as if in Zone AR-2	NP	P	P	NP	NP	NP	NP	NP
Real estate rental or sales activities within model units	NP	P	P	P	P	P	P	NP
Recreational Vehicle Temporary Use	NP	CU	CU	CU	NP	NP	NP	NP
Seasonal Outdoor Sales	NP	CU	NP	NP	NP	NP	NP	NP
Temporary Structures or Buildings	NP	CU	CU	CU	CU	CU	CU	CU
Temporary Living Quarters during Construction of a Residence	NP	CU	CU	NP	NP	NP	NP	NP
Temporary Signs allowed under the County Ordinance Code	NP	CU	CU	CU	CU	CU	CU	NP
Other Temporary Uses Not Specifically Listed under any Category	NP	NP	NP	NP	NP	NP	NP	NP

(5) Additional Permitted Uses Specifically Authorized.

In addition to the permitted Uses set forth in Sections 9.L(1)-(4), the following Uses and Structures are specifically authorized:

- Forestry and Silviculture may continue as a permitted Use: on all or any portion of the PUD Property until build-out of the Development Phase in which the PUD Property or portion thereof is included; and with respect to any PUD Property designated in the Master PUD Site Plan as being within the Stewardship and Recreation Settlement type, until such time as such PUD Property is designated as Recreational land.

- Land Clearing

Land clearing, processing and disposal of land clearing debris from the PUD Property shall be permitted on all or any portion

of the PUD Property; provided, however, land clearing debris may be processed or disposed of only in conformity with applicable fire codes and other applicable chapters of the County Ordinance Code.

- Development & Construction

Activities related to Development and construction of Improvements authorized by the Rezoning Application, the Master PUD Plan, or these PUD Project Development Standards shall be permitted on all or any portion of the PUD Property.

10. Parking & Loading Space Requirements

A. Parking Requirement.

(1) Parking will be provided within the PUD Property in accordance with the requirements of the County Ordinance Code, as it may be amended, except as such requirements differ from those herein.

(2) Parking shall be provided on-site for each Use within a Lot in accordance with **Table 10.A.1 (Vehicular Parking Requirements)**.

TABLE 10.A.1 VEHICULAR PARKING REQUIREMENTS

PRINCIPAL USE	Minimum Number of Parking Spaces Required Per Unit of Measure
RESIDENTIAL	
Duplex Building, including Independent Living Facility & Assisted Living Facility	2 per Dwelling Unit
Group Home (Residential)	.5 per resident + 1 per counselor
House Building, including Independent Living Facility & Assisted Living Facility	2 per Dwelling Unit
Mobile Homes & House Trailers	Not Permitted
Residential Portion of Agricultural Building	1.5 per Dwelling Unit
Residential Portion of Live/Work Building	1.5 per Dwelling Unit
Residential Portion of Mixed Use Building	1.5 per Dwelling Unit
Residential Portion of Flex Building	1.5 per Dwelling Unit
Residential Portion of a Farm Compound or Retreat	1.5 per Dwelling Unit

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TABLE 10.A.1 VEHICULAR PARKING REQUIREMENTS

PRINCIPAL USE	Minimum Number of Parking Spaces Required Per Unit of Measure
Small Multifamily Building, including Independent Living Facility & Assisted Living Facility	1.5 per Dwelling Unit
Townhouse Building	1.5 per Dwelling Unit
Other Residential Uses Not Specifically Listed under any Category	Not Permitted
LODGING	
Bed & Breakfast Inn	1 per Dwelling Unit + 1 per guest bedroom + 1 per each 2 employees on premises at the same time
Hospitality (excluding Bed & Breakfast Inn), Retreat or Hotel	1 per guest bedroom + 1 per each 2 employees on premises at the same time + 1 per 200 square feet of total conference, meeting, or office Usable Floor Area + 1 per 3 permanent conference, meeting, or office seats or 1 per each 80 square feet of seating area where fixed seating is not provided + 1 per 100 square feet of total restaurant or lounge Usable Floor Area + 1 per 500 square feet of total Retail and Personal Service Usable Floor Area
School Dormitory	1 per student over legal driving age
Motel	Not Permitted
Other Lodging Uses Not Specifically Listed Under any Category	Not Permitted
OFFICE	
General, Business, or Professional Office	1 per 200 square feet of total Usable Floor Area

TABLE 10.A.1 VEHICULAR PARKING REQUIREMENTS

PRINCIPAL USE	Minimum Number of Parking Spaces Required Per Unit of Measure
Office Portion of Flex Building	1 per 200 square feet of total Usable Floor Area
Office Portion of Live/Work	1 per 200 square feet of total Usable Floor Area
Office Portion of Mixed Use	1 per 200 square feet of total Usable Floor Area
Other Office Uses Not Specifically Listed Under any Category	Not Permitted
RETAIL / SERVICE / ARTISAN	
Adult Entertainment	1 per 200 square feet of total Usable Floor Area but no fewer than 2 spaces
Alcoholic Beverage Sales, excluding Restaurants	1 per 300 square feet of total Usable Floor Area
Animal Clinic	1 per treatment, surgical, or procedure room + 1 per 100 square feet of total other Usable Floor Area
Animal Control Facility	Not Regulated
Artisan Establishment	1 per 500 square feet of total Usable Floor Area
Bars, Taverns, Nightclubs, Restaurants, including those selling alcoholic beverages for on-site consumption	1 per 100 square feet of total Usable Floor Area
Display Gallery	1 per 500 square feet of total Usable Floor Area
General Retail Sales	1 per 500 square feet of total Usable Floor Area
Personal Service	1 per 500 square feet of total Usable Floor Area
Sales from Vehicles	Not Regulated
Other Retail / Service / Artisan Uses Not Specifically Listed under any Category	Not Permitted
CIVIC	
Bus Shelter	Not Regulated
Civic Space - Community Garden	1 per 10,000 square feet of total gross land area
Civic Space - Green	1 per 10,000 square feet of total gross land area
Civic Space - Natural Area	Not Regulated

TABLE 10.A.1 VEHICULAR PARKING REQUIREMENTS

PRINCIPAL USE	Minimum Number of Parking Spaces Required Per Unit of Measure
Civic Space - Playground	1 per 10,000 square feet of total gross land area
Civic Space - Plaza	1 per 10,000 square feet of total gross land area
Civic Space - Pocket Park	1 per 10,000 square feet of total gross land area
Civic Space - Sport Field, Court, or Course	1 per 10,000 square feet of total gross land area
Civic Space - Square	1 per 10,000 square feet of total gross land area
Convention or Exhibition Center	1 per 200 square feet of total Usable Floor Area, 1 per 3 permanent seats, or 1 per each 80 square feet of seating area where fixed seating is not provided
Conference Center	1 per 200 square feet of total Usable Floor Area, 1 per 3 permanent seats, or 1 per each 80 square feet of seating area where fixed seating is not provided
Dog Park	1 per 10,000 square feet of total gross land area
Library	1 per 100 square feet of seating area
Live or Movie Theater	1 per 3 permanent seats, or 1 per each 40 square feet of seating area where fixed seating is not provided
Museum	1 per 3 permanent seats, or 1 per each 40 square feet of seating area where fixed seating is not provided
Auditorium	1 per 200 square feet of total Usable Floor Area
Amphitheater	1 per 3 permanent seats, or 1 per each 80 square feet of seating area where fixed seating is not provided

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TABLE 10.A.1 VEHICULAR PARKING REQUIREMENTS

PRINCIPAL USE	Minimum Number of Parking Spaces Required Per Unit of Measure
Place of Worship, Religious Institution, or Place of Assembly	1 per 3 permanent seats, or 1 per each 80 square feet of seating area where fixed seating is not provided
Public Assembly for purposes of exercising 1st and 14th Amendment Rights	Not Regulated
Parking Lot or Parking Structure	Not Regulated
Other Civic Uses Not Specifically Listed under any Category	Not Permitted
AGRICULTURAL	
Any Agricultural Use	Not Regulated
AUTOMOTIVE	
Automobile Service	1 per 500 square feet of Usable Floor Area
Automobile Repair / Body Shop	1 per 500 square feet of Usable Floor Area
Gasoline	1 per 500 square feet of Usable Floor Area
Truck Maintenance	1 per 500 square feet of Usable Floor Area
Other Automotive Uses Not Specifically Listed under any Category	Not Permitted
CIVIL SUPPORT & INSTITUTIONAL	
Cemetery	1 per full time employee on premises at the same time + 1 per 40 square feet of public Usable Floor Area
Fire / EMS Station	Not Regulated
Funeral Home	1 per full time employee on premises at the same time + 1 per 40 square feet of public Usable Floor Area
Hospital	.50 per bed
Rehabilitation Facility	1 per 4 beds
Long-Term Care Facility	1 per 4 beds
Medical Clinic	1 per treatment room + 1 per 40 square feet of other Usable Floor Area
Police Station	Not Regulated
Other Civil Support or Institutional Uses Not Specifically Listed under any Category	Not Permitted

TABLE 10.A.1 VEHICULAR PARKING REQUIREMENTS

PRINCIPAL USE	Minimum Number of Parking Spaces Required Per Unit of Measure
EDUCATIONAL	
Childcare Center, Nursery, Pre-School, Kindergarten	1 per teacher or other staff + 1 per 20 students
Community College / College / University / Graduate / Professional School	1 per teacher or other staff + 1 per student seat
Elementary School	1 per teacher or other staff + 1 per 20 students
High School	1 per teacher or other staff + .50 per student seat
Personal Improvement Education	1 per teacher or other staff+ .50 per student seat
Junior High School	1 per teacher or other staff + 1 per 20 students
Trade or Business School	1 per teacher or other staff + .50 per student seat
Other Educational Uses Not Specifically Listed under any Category	Not Permitted
RECREATION & ENTERTAINMENT	
Amphitheater (commercial)	1 per 3 permanent seats, or 1 per each 40 square feet of seating area where fixed seating is not provided
Arena	Not Applicable
Indoor Recreation or Entertainment Facility	1 per 200 square feet of total activity Usable Floor Area + 1 per 200 square feet of gross swimming water surface area + 1 space per tennis, handball, or racquetball court, + 2 spaces per pickle ball court + 5 spaces per basketball court+ 15 spaces per athletic field
Bowling Alley	1 per 500 square feet of total Usable Floor Area
BMX Track	1 per 5000 square feet of gross land Area
Campground / RV Park	1 per campsite or RV site
Miniature Golf	1 per golf hole
Motocross (MX) Motorized	1 per 5000 square feet of gross land Area
Mudboggging	Not Permitted

TABLE 10.A.1 VEHICULAR PARKING REQUIREMENTS

PRINCIPAL USE	Minimum Number of Parking Spaces Required Per Unit of Measure
Dance Halls	1 per 200 square feet of total dancing Usable Floor Area
Golf Driving Range / Course	1 per 300 square feet of total indoor Usable Floor Area + 1 per 20,000 square feet of outdoor driving range gross land area + 1 per golf hole
Indoor Shooting Range	1 per 500 square feet of total indoor Usable Floor Area
Skating Rink / Skate Parks	1 per 300 square feet of total Usable Floor Area or outdoor skating surface
Indoor Theatre (commercial)	1 per 3 permanent seats, or 1 per each 40 square feet of seating area where fixed seating is not provided
Outdoor Drive-in Theaters	Not Regulated
Outdoor Shooting Range	1 per 10,000 square feet of outdoor gross land area
Outdoor Recreation Facility (Privately Owned & Operated and Open to paying Public)	1 per 5000 square feet of gross land area
Rural Event Center	1 per 300 square feet of total indoor Usable Floor Area + 1 per 10,000 square feet of outdoor gross land area
Swimming Pool	1 per 200 square feet of gross swimming water surface area + 1 per 100 square feet of deck surface
Stadium	Not Regulated
Youth Camp	Not Regulated
Other Recreation or Entertainment Uses Not Specifically Listed under any Category	Not Permitted
INDUSTRIAL & UTILITIES	
Communication Antennas and Communication Towers	Not Regulated
Electric Substation	Not Applicable
Hazardous or Nuisance Uses	Not Permitted
Heavy Industrial	Not Permitted

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TABLE 10.A.1 VEHICULAR PARKING REQUIREMENTS

PRINCIPAL USE	Minimum Number of Parking Spaces Required Per Unit of Measure
Light Industrial Facility	1 per 2000 square feet of Usable Floor Area + 1 space per employee on premises at one time, but no fewer than 2 spaces
Public and/or Private Sewer Facilities and Waste Facilities	1 space per employee on premises at one time, but no fewer than 2 spaces
Radio, Television, Microwave Relay Stations or Towers (See Table 9.L.2 for related Accessory Equipment and Accessory Buildings)	1 space per employee on premises at one time, but no fewer than 2 spaces
Research or Laboratory Facility	1 space per employee on premises at one time, but no fewer than 2 spaces
Rock Crushing, Rock or Sand Storage Yard, or Stone Cutting	Not Permitted
Solar Farm	Not Regulated
Trench Sanitary Landfill	Not Regulated
Water Supply Facility	Not Regulated
Wireless Transmitter	Not Regulated
Other Industrial or Utilities Uses Not Specifically Listed under any Category	Not Permitted
OTHER	
Correctional Facility	Not Permitted
Flea Market	Not Permitted
Heliports and Helipads	1 per landing space + 1 per employee on premises at same time
Horse Hotel	1 per horse keeping space
Landing Strips	1 per aircraft storage area + 1 per employee on premises at same time, but no fewer than 2 spaces
Medical Marijuana Treatment Center Dispensing Facilities	1 per client room + 1 per 40 square feet of other Usable Floor Area
Mini-Warehouse	Not Permitted
Mobile Businesses	Not Regulated
Portable Storage Structure	Not Permitted
Recreational Vehicle / Boat Storage	Not Regulated
Other Uses Not Specifically Listed under any Category	Not Permitted

(3) In determining parking requirements and spaces provided, any fractional spaces shall be rounded down to the nearest whole number.

(4) In determining compliance with this Section 10, the following shall not be counted:

- Liner Buildings fewer than 30 feet deep and no more than two Stories.

(5) For purposes of this Section 10, the number of on-site parking spaces required for a Lot may be reduced, at the election of the Applicant, as follows:

(A) by subtracting:

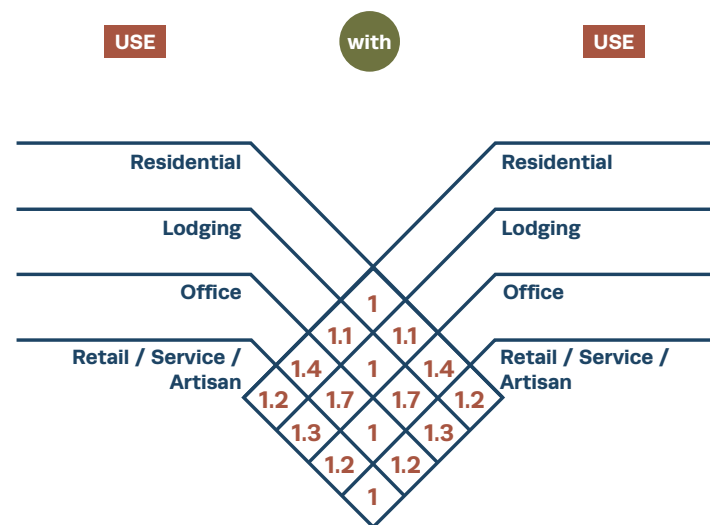
(i) the number of spaces Adjacent to the Frontage Line on the same side of the Thoroughfare as the Lot;

(ii) the number of spaces within the same Block or an Adjacent Block provided in a public Parking Lot or Parking Structure; and

(iii) the number of any other spaces within 1,000 feet of the Lot made available pursuant to a recorded shared parking agreement, easement, lease, or license; and

(B) by the Shared Parking Factor, applied by dividing (i) the number of spaces required for any two Principal Uses within a Lot or within the Lot and any other Lot within the same or any Adjacent Block under **Table 10.A.1 (Vehicular Parking Requirements)** by (ii) the applicable Shared Parking Factor under **Table 10.A.2 (Shared Parking Factor)**.

TABLE 10.A.2 SHARED PARKING FACTOR



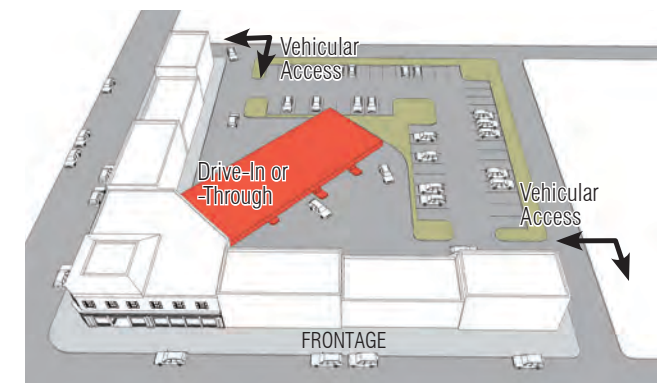
B. Loading Space Requirement.

1. A loading space shall be provided for each Building used for Multifamily Residential or non-Residential purposes.
2. Loading spaces may be located either on the same Lot as the Building they serve or on the same side of the Street in front of such Building.
3. Any required loading space shall comply with any applicable dimensional standards of the County Ordinance Code as it may be amended.

11. Drive-Through Facilities.

Drive-Through Facilities allowed as an Accessory Use pursuant to **Table 9.L.2 (Permitted Accessory Uses)** may only be in the Third Layer and configured generally as shown in **Illustration 11 (Drive-Throughs)**.

ILLUSTRATION 11 (DRIVE-THROUGHS)



Conceptual illustration of Drive-Through in 3rd Layer.

12. Parking, Loading, Storage, Trash Receptacle, Dumpster/ Compactor/Re-cycling Container, Equipment, & Other Items Locations & Standards

A. Provision; Location; Access; Design.

1. All Parking Areas, Parking Structures, Garages, and loading areas shall be located as specified in **Tables 9.B.1 - 9.B.8 (Character District Standards)**.
2. Lighting that illuminates off-Street Parking Areas, Parking Lots, and Parking Structures shall be installed within and directed only onto the areas so provided for parking.

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B. Screens.

Screening shall be provided in accordance with **Tables 9.B.1 – 9.B.8 (Character District Standards)**. Off-Street Parking Areas, Parking Lots, loading areas, and Parking Structures shall be Screened from a vantage point at the Frontage, as follows:

1. Screening of Parking Areas, Parking Lots, and loading areas shall be by Building(s), hedge, or Streetscreen.
2. Screening of Parking Structures shall be Liner Building(s) in each case at least as tall as the second level of the Parking Structure.

C. Trash Receptacle/Dumpster/Compactor/Re-cycling Enclosures.

All trash receptacles, dumpsters, compactors, and re-cycling containers shall be located in the Third Layer and shall be enclosed as required pursuant to the County Ordinance Code.

13. Access / Vehicular Circulation; Pedestrian & Bikeway Circulation; & Thoroughfares.

A. Access / Vehicular Circulation / Thoroughfare Network & Standards.

1. The existing and proposed vehicular circulation system and points of ingress and egress, including primary Thoroughfares, Driveways and median openings accessing the PUD Property are shown on **Attachment V.B-1.4 (Master PUD Site Plan)**.
2. The general locations of the proposed vehicular circulation system, points of ingress and egress and primary Thoroughfares, Driveways, and median openings accessing the PUD Property may be changed to accommodate site conditions with the approval of the Planning and Zoning Department and County Traffic Engineer at the time of Final Development Plan approval.
3. Vehicular circulation within the PUD Property shall be via private or dedicated public Thoroughfares and private drives.
4. The general layout, locations, types, and dimensions of Thoroughfares and private drives shall be reflected on each specific Final Development Plan submitted for Development of the various parts of the PUD Property.
5. The specific locations and design of the access points, proposed intersections, traffic circles/roundabouts, and the vehicular internal circulation may be revised or moved during

final design without the necessity of modifying the PUD, subject to review and approval by the Planning and Zoning Department pursuant to section 3-33(e) of the County Land Development Code and, where applicable, by the County Traffic Engineer.

6. The specific locations, design, dimensions, and types of Thoroughfares may be revised or moved during final design without the necessity of modifying the PUD, subject to review and approval by the Planning and Zoning Department pursuant to section 3-33(e) of the County Land Development Code and, where applicable, by the County Traffic Engineer.

7. Thoroughfares shall comply with the following standards:

(1) Thoroughfares shall provide for vehicular and non-vehicular traffic, and shall provide access to Lots and Open Space.

(2) Thoroughfares shall be comprised of vehicular travel lanes and, where applicable, vehicular parking lanes, any bicycle accommodations, and the Public Frontage. See Section 13.B below. Thoroughfares shall conform to the Thoroughfare Types and related standards, provided for the applicable Character District, if any, set forth in **Table 13.B (Thoroughfare Types – Specific Standards)**. Thoroughfares also may include water quality/quantity areas and features.

(3) If one or more Thoroughfare Types are indicated for a Character District in **Table 13.B (Thoroughfare Types – Specific Standards)**, each Thoroughfare within such Character District must conform to such indicated Thoroughfare type and related standards, or if more than one is indicated, to one of the indicated Thoroughfare types and related standards; provided that the Rear Alley type and related standards shall be available in all Character Districts, but shall be available only at the rear of a Lot.

(4) Thoroughfare types shall be reflected on each Final Development Plan submitted prior to Development of the various parts of the PUD Property.

B. Public Frontages.

1. The Public Frontage of Thoroughfares shall include the Sidewalk, drainage accommodation, planting accommodation, bicycle accommodations, Street trees, and Street lights, in each case as applicable to the specific Thoroughfare Type, as allocated within and designed in accordance herewith and **Table 13.B (Thoroughfare Types – Specific Standards)**. The Public Frontage and any element thereof also may include one or more water

quality/quantity areas or features.

2. String lighting and cafe lights shall be allowed within Sidewalks, outside dining areas, pedestrian areas, and pedestrian ways.

C. Bikeway Types.

A bicycle network comprised of the various allowed Bikeway Types indicated in **Table 13.D (Bikeway Types)** shall be provided throughout Character District other than CD-1.

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V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2 PUD PROJECT DEVELOPMENT STANDARDS

EMERGENCY LANE (EL-20-14) EMERGENCY LANE

TABLE 13.B THOROUGHFARE TYPES SPECIFIC STANDARDS



Permitted Districts

Illustration is provided for illustrative purposes only.

CD-2 | CD-3L | CD-3 | CD-4 | CD-IH | CD-EH | CD-CV

Thoroughfare Type		Right-of-Way	
Thoroughfare Type	Emergency Lane	Walkway Type	NA
Right-of-Way Width	20 feet* A	Planter Type	None
Vehicular Pavement Width	14 feet B	Planter Width	NA
Movement		Curb Type	None
Movement	Slow / Yield	Landscape Type	NA
Design Speed	20 MPH	Transportation Provision	None
Assemblies		Vehicular Pavement Material	Asphalt, Concrete, Pavers
Traffic Lanes	1 Lane		
Traffic Lane Width	14 feet		
Parking Lanes	None		
Parking Lane Width	NA		
Curb Radius	5-10 feet C		

*Outrigger stabilized locations (per Clay County Standards) to be determined with Clay County. **D**

REAR LANE (RL-18-12) REAR LANE

TABLE 13.B THOROUGHFARE TYPES SPECIFIC STANDARDS



Permitted Districts

Illustration is provided for illustrative purposes only.

CD-2 | CD-3L | CD-3 | CD-4 | CD-CV

Thoroughfare Type		Planter Type	
Thoroughfare Type	Rear Lane	Planter Type	NA
Right-of-Way Width	18 feet A	Curb Type	None
Vehicular Pavement Width	12 feet B	Landscape Type	NA
Movement		Vehicular Surface Material	Asphalt, Concrete, or pervious material (Crushed shell, Gravel, etc)
Movement	Yield		
Design Speed	20 MPH		
Assemblies			
Traffic Lanes	1 Lane		
Traffic Lane Width	12 feet		
Parking Lanes	None		
Parking Lane Width	NA		
Curb Radius	5-10 feet C		
Right-of-Way			
Walkway Type	NA		

Key

- Thoroughfare Type
- Right of Way Width
- Pavement Width

RL-18-12

Thoroughfare Types:

- EL Emergency Lane
- RL Rear Lane
- RA Rear Alley
- DR Drive
- RD Road
- ST Street
- SQ Square
- MUS Mixed Use Street
- OS Opportunistic Street

V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2 PUD PROJECT DEVELOPMENT STANDARDS

REAR ALLEY (RA-20-14)

REAR ALLEY

TABLE 13.B THOROUGHFARE TYPES SPECIFIC STANDARDS



Illustration is provided for illustrative purposes only.

Permitted Districts

CD-4 | CD-IH | CD-EH | CD-CV

Thoroughfare Type	
Thoroughfare Type	Rear Alley
Right-of-Way Width	20 feet A
Vehicular Pavement Width	14 feet B
Movement	
Movement	Yield
Design Speed	10 MPH
Assemblies	
Traffic Lanes	1 Lane
Traffic Lane Width	12 feet
Parking Lanes	None
Parking Lane Width	NA
Curb Radius	5-10 feet C

Right-of-Way	
Walkway Type	NA
Bikeway Type	NA
Planter Type	NA
Curb Type	None
Landscape Type	NA
Vehicular Surface Material	Asphalt, Concrete, or pervious material

Key

- Thoroughfare Type
- Right of Way Width
- Pavement Width

RL-18-12

Thoroughfare Types:

- EL Emergency Lane
- RL Rear Lane
- RA Rear Alley
- DR Drive
- RD Road
- ST Street
- SQ Square
- MUS Mixed Use Street
- OS Opportunistic Street

ROAD (RD-48-18)

SETTLEMENT CONNECTOR

TABLE 13.B THOROUGHFARE TYPES SPECIFIC STANDARDS

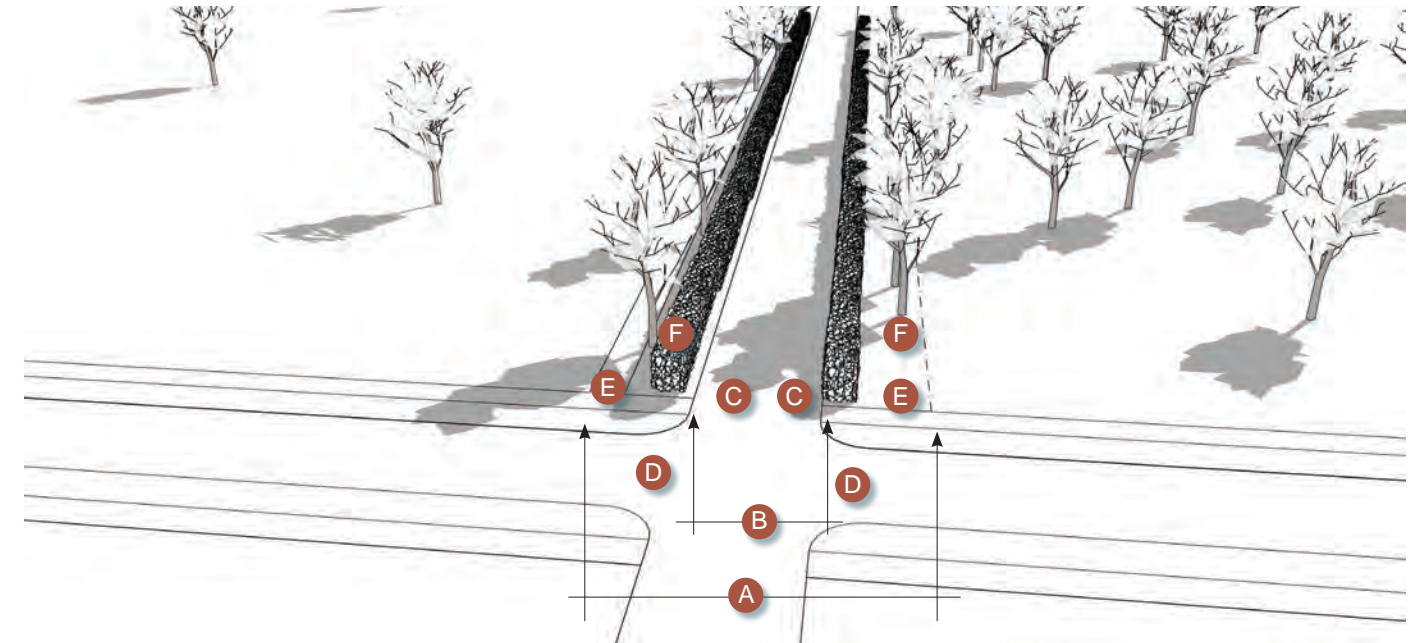


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-1 | CD-2 | CD-IH | CD-EH | CD-CV

Thoroughfare Type	
Thoroughfare Type	Road
Right-of-Way Width	48 feet A
Vehicular Pavement Width	18 feet B
Movement	
Movement	Slow
Design Speed	25 MPH
Assemblies	
Traffic Lanes	2 Lanes C
Traffic Lane Width	9 feet
Parking Lanes	None
Parking Lane Width	NA
Curb Radius	10-15 feet D

Right-of-Way	
Walkway Type	May be equipped with Shared-Use Path, Multi-Use Trail, 5' Gravel Path or None E
Bikeway Type	Shared Use Path, Multi-Use Trail (see Bikeway Types Detail) or None E
Planter Type	Continuous Open Swale F
Curb Type	Rural Edge Treatment -Open Swale or Ribbon Curb
Landscape Type	Trees at 35 ft. o.c., Clustered, or Hedge
Vehicular Pavement Material	Asphalt

V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2 PUD PROJECT DEVELOPMENT STANDARDS

ROAD (RD-34-18)

ENTRANCE ROAD

TABLE 13.B THOROUGHFARE TYPES SPECIFIC STANDARDS

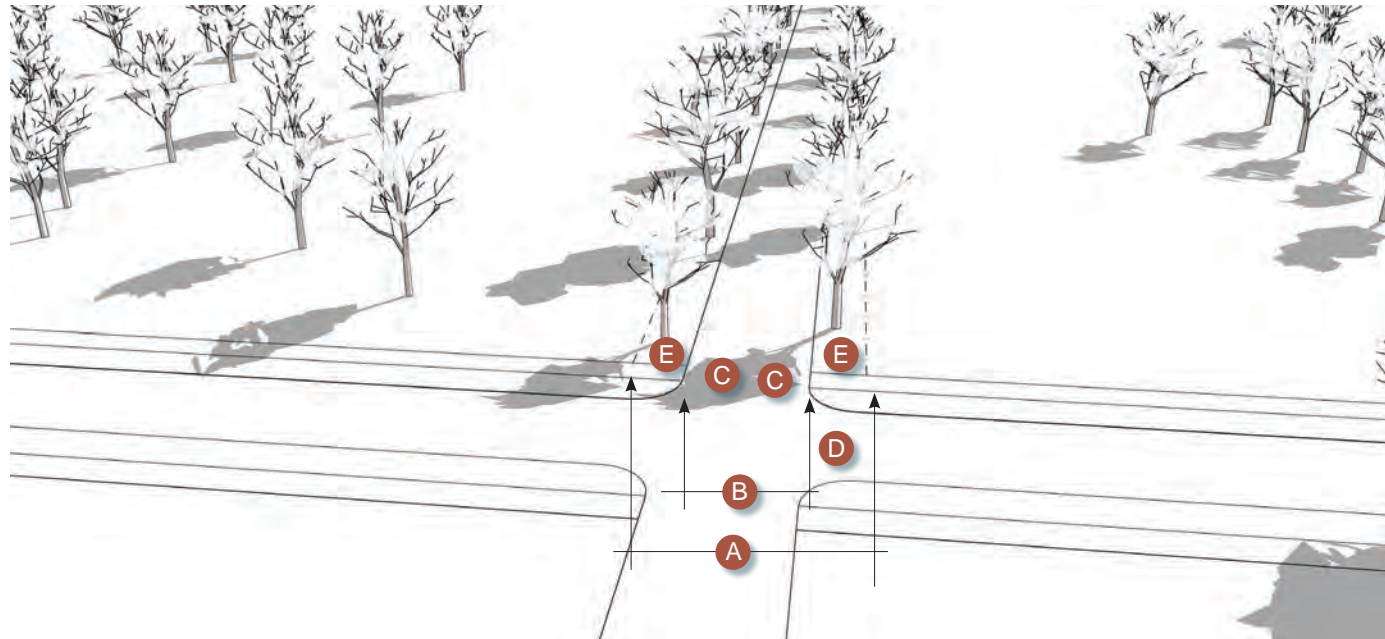


Illustration is provided for illustrative purposes only.

Permitted Districts

ALL DISTRICTS AS AN ENTRANCE

Thoroughfare Type	
Thoroughfare Type	Road
Right-of-Way Width*	34 feet A
Vehicular Pavement Width	18 feet B
Movement	
Movement	Slow
Design Speed	25 MPH
Assemblies	
Traffic Lanes	2 Lanes C
Traffic Lane Width	9 feet
Parking Lanes	None
Parking Lane Width	NA
Curb Radius	10-15 feet D

Right-of-Way	
Walkway Type	May be equipped with 5' min width crushed gravel or 5' min width crushed gravel or concrete Sidewalk, 10' min width crushed gravel or paved multipurpose path, or None
Bikeway Type	Shared Use Lane
Planter Type	Continuous Open Swale E
Planter Width	8 ft.
Curb Type	Rural Edge Treatment - Open Swale or Ribbon Curb
Landscape Type	Trees at 40 ft. o.c.
Vehicular Pavement Material	Asphalt

*This Thoroughfare Type may be divided by a median. If divided, the Right-of-Way Width will be increased by the width of the median.

ROAD (RD-50-20)

RURAL ROAD

TABLE 13.B THOROUGHFARE TYPES SPECIFIC STANDARDS

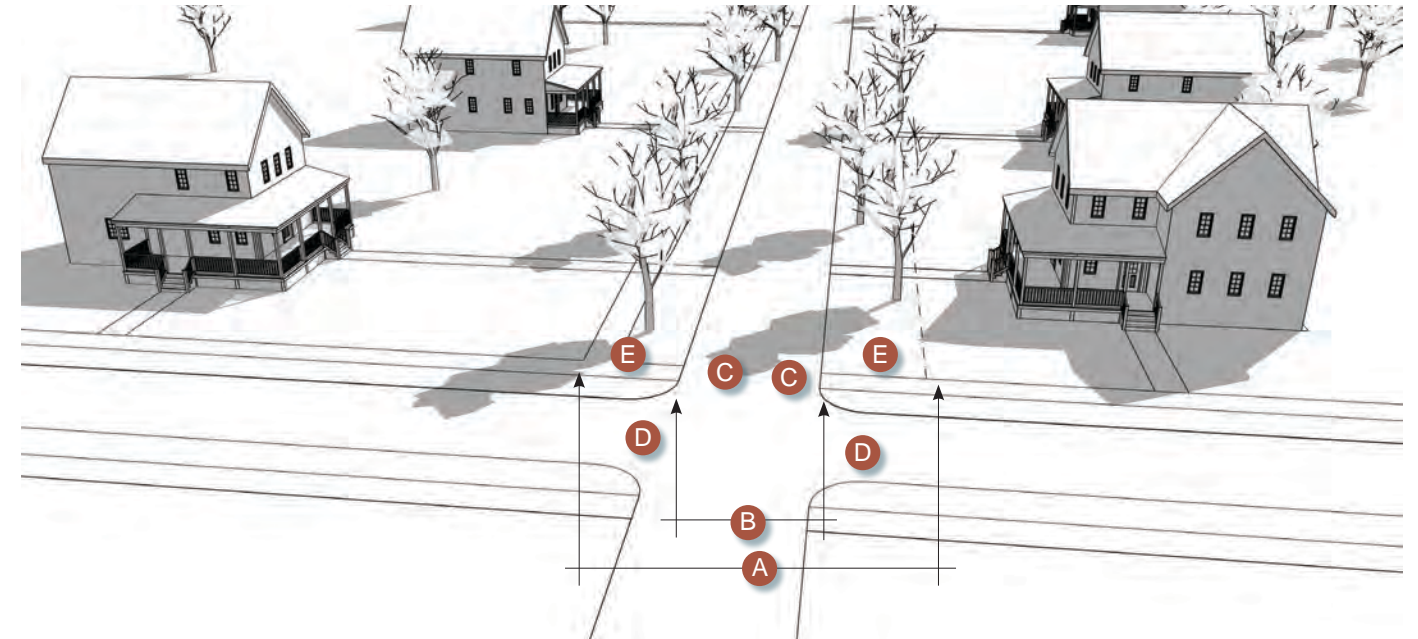


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-1 | CD-2 | CD-3L | CD-3 | CD-EH | CD-CV

Thoroughfare Type	
Thoroughfare Type	Road
Right-of-Way Width	50 feet A
Vehicular Pavement Width	20 feet B
Movement	
Movement	Slow
Design Speed	15 MPH
Assemblies	
Traffic Lanes	2 Lanes C
Traffic Lane Width	10 feet
Parking Lanes	Parking allowable within Planter Area
Parking Lane Width	8 feet
Curb Radius	10-15 feet D

Right-of-Way	
Walkway Type	May be equipped with 5 ft. crushed gravel or concrete Sidewalk, or None.
Bikeway Type	NA
Planter Type	Continuous Open Swale E
Planter Width	15 ft.
Curb Type	Rural Edge Treatment-Open Swale or Ribbon Curb
Landscape Type	Trees clustered, or Trees at 30-36 ft. o.c.
Vehicular Pavement Material	Compacted Earth / Crushed Shell

V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2 PUD PROJECT DEVELOPMENT STANDARDS

STREET (ST -44 -18)

OPPORTUNISTIC STREET

TABLE 13.B THOROUGHFARE TYPES
SPECIFIC STANDARDS



Illustration is provided for illustrative purposes only.

Permitted Districts

CD-3L CD-3 CD-4 CD-EH CD-CV

Thoroughfare Type	
Thoroughfare Type	Opportunistic Street
Right-of-Way Width	44 feet A
Pavement Width	18 feet B
Movement	
Movement	Slow
Design Speed	10 MPH
Assemblies	
Traffic Lanes	2 Lanes C
Traffic Lane Width	9 feet
Parking Lanes	One or both sides, Shared with Planter, alternates with Street Trees E
Parking Lane Width	8 feet unmarked

Curb Radius	10-15 feet D
Right-of-Way	
Walkway Type	5 ft Sidewalk E
Bikeway Type	Shared Use Lane or None
Planter Type	Continuous Open Swale F
Planter Width	8 feet
Curb Type	Open Swale
Landscape Type	Trees at 36 ft.o.c.
Surface Material	Asphalt

STREET (ST-56-32*)

NEIGHBORHOOD STREET

TABLE 13.B THOROUGHFARE TYPES
SPECIFIC STANDARDS

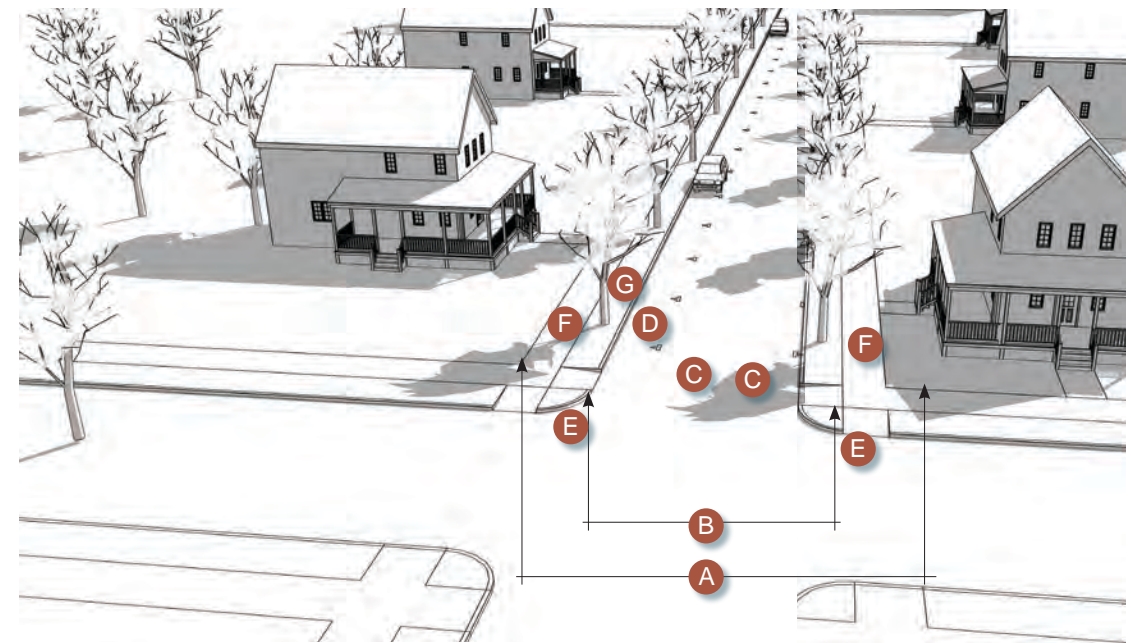


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-3L CD-3 CD-4 CD-EH CD-CV

Thoroughfare Type	
Thoroughfare Type	Street
Right-of-Way Width	42-56 feet* A
Vehicular Pavement Width	25-32 feet* B
Movement	
Movement	Slow
Design Speed	20 MPH
Assemblies	
Traffic Lanes	2 Lanes C
Traffic Lane Width	9 feet
Parking Lanes	One or both sides D
Parking Lane Width	7 feet marked
Curb Radius	10 - 15 feet E

Right-of-Way	
Walkway Type	5 ft. Sidewalk F
Bikeway Type	Shared Use Lane or None
Planter Type	Continuous Planter or Open Swale G
Planter Width	7 ft.
Curb Type	Raised Curb or Open Swale
Landscape Type	Trees at 30 ft. o.c.
Vehicular Pavement Material	Asphalt

*ROW width varies based on listed selections made

V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2 PUD PROJECT DEVELOPMENT STANDARDS

STREET (RD-60-36)

STREET

TABLE 13.B THOROUGHFARE TYPES
SPECIFIC STANDARDS



Illustration is provided for illustrative purposes only.

Permitted Districts

CD-3L | CD-3 | CD-4 | CD-IH | CD-EH | CD-CV

Thoroughfare Type	
Thoroughfare Type	Street
Right-of-Way Width	60 feet A
Vehicular Pavement Width	36 feet B
Movement	
Movement	Slow
Design Speed	25 MPH
Assemblies	
Traffic Lanes	2 Lanes C
Traffic Lane Width	10 feet
Parking Lanes	Both sides D
Parking Lane Width	8 feet marked
Curb Radius	10 - 15 feet E

Right-of-Way	
Walkway Type	6 ft. Sidewalk, F
Bikeway Type	Shared Use Lane or None
Planter Type	Continuous Planter or Swale G
Planter Width	6 ft.
Curb Type	Raised Curb or Open Swale
Landscape Type	Trees at 30 ft. o.c. Avg.
Vehicular Pavement Material	Asphalt

MIXED-USE STREET (MUS-62-36)

MIXED-USE STREET

TABLE 13.B THOROUGHFARE TYPES
SPECIFIC STANDARDS

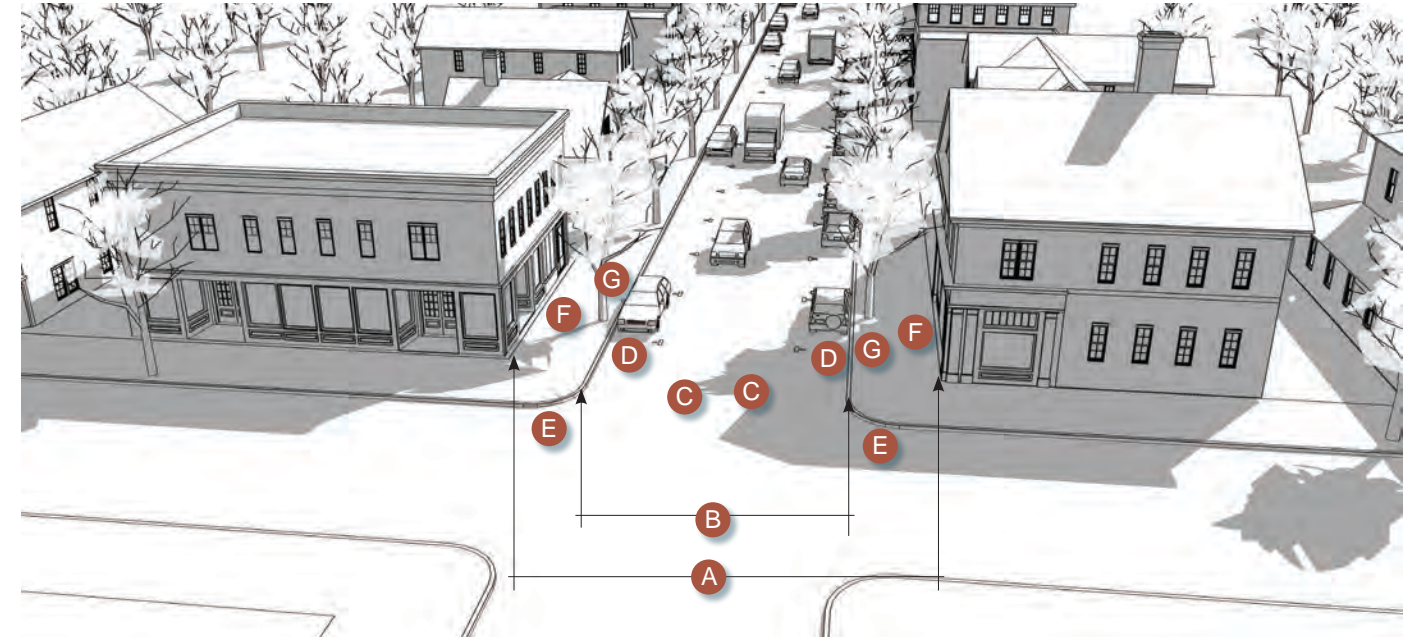


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-4 | CD-IH | CD-EH | CD-CV

Thoroughfare Type	
Thoroughfare Type	Street
Right-of-Way Width	62 feet A
Vehicular Pavement Width	36 feet B
Movement	
Movement	Slow
Design Speed	25 MPH
Assemblies	
Traffic Lanes	2 Lanes C
Traffic Lane Width	10 feet
Parking Lanes	Both sides D
Parking Lane Width	8 ft. marked
Curb Radius	5 - 10 feet E

Right-of-Way	
Walkway Type	8 ft. Sidewalk F
Bikeway Type	Shared Use Lane, Bike Lane, Protected Bike Lane, Shared Use Lane, Multi-Use Path or None
Planter Type	Tree Well or Continuous Planter G
Planter Width	5 ft.
Curb Type	Raised Curb
Landscape Type	30 ft. o.c. Avg.
Vehicular Pavement Material	Asphalt or Paving Blocks

SQUARE (SQ-54-28)

SQUARE

TABLE 13.B THOROUGHFARE TYPES
SPECIFIC STANDARDS

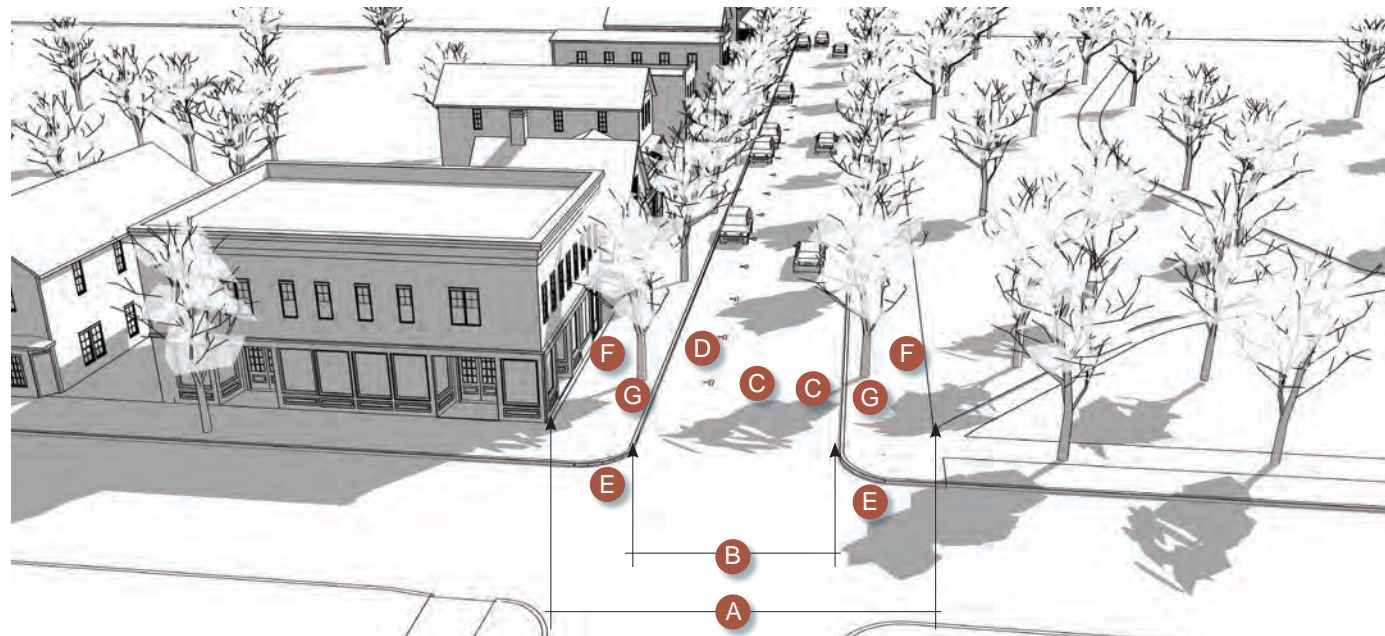


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-4 | CD-IH | CD-EH | CD-CV

Thoroughfare Type	
Thoroughfare Type	Square
Right-of-Way Width	54 feet A
Vehicular Pavement Width	28 feet B
Movement	
Movement	Slow
Design Speed	25 MPH
Assemblies	
Traffic Lanes	2 Lanes C
Traffic Lane Width	10 feet
Parking Lanes	One side D
Parking Lane Width	8 feet marked
Curb Radius	5 - 10 feet E

Right-of-Way	
Walkway Type	8 ft. Sidewalk F
Bikeway Type	Shared Use Lane, Bike Lane, Protected Bike Lane, Shared Use Lane, Multi-Use Path or None
Planter Type	Tree Well or Continuous Planter G
Planter Width	5 ft.
Curb Type	Raised Curb
Landscape Type	25 ft. o.c. Avg.
Vehicular Pavement Material	Asphalt

TABLE 13.D BIKEWAY TYPES

Bicycle Lane

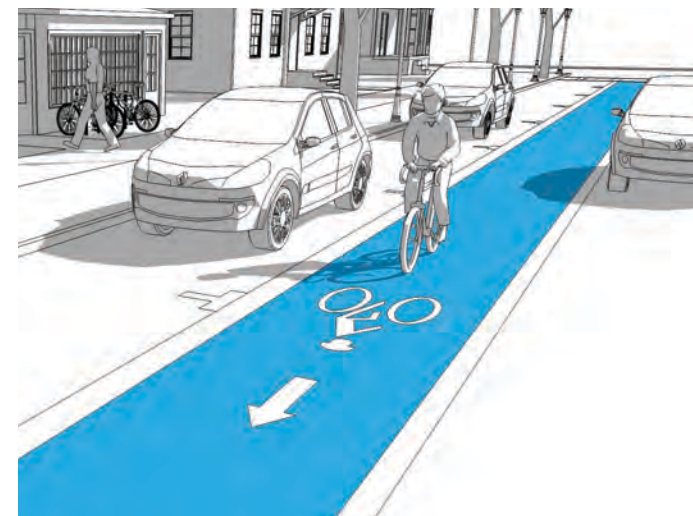


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Permitted Districts

CD-1 | CD-2 | CD-3L | CD-3 | CD-4 | CD-EH | CD-IH | CD-CV

Riding Surface Width	5 ft min
Buffer	None
Movement	With traffic
Intersection Detailing	Signalized, Peg-a-Track, colored, Bicycle Box
Bicycle Parking	Rack, bicycle shelter, bicycle station

Shared Use Lane

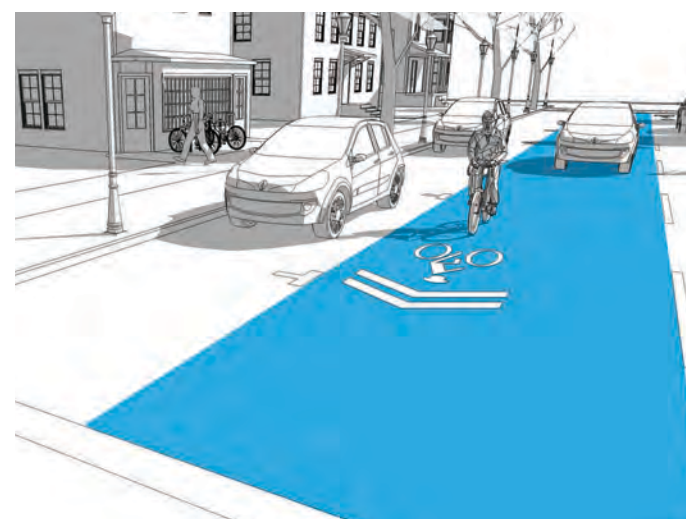


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Permitted Districts

CD-2 | CD-3L | CD-3 | CD-4 | CD-EH | CD-IH | CD-CV

Riding Surface Width	Same as Vehicular Lane
Buffer	N/A
Movement	With Traffic
Intersection Detailing	Signed, signalized
Bicycle Parking	Opportunistic, rack, Bicycle Shelter

Protected Bicycle Lane

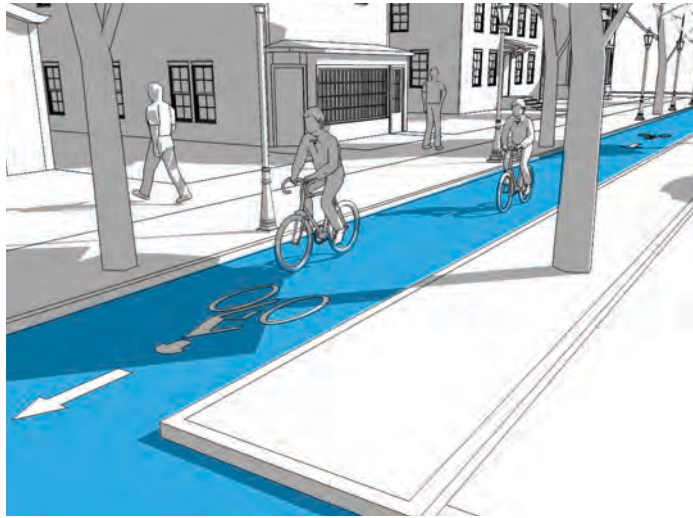


Illustration is provided for illustrative purposes only.

Permitted Districts

CD-4 CD-EH CD-IH CD-CV

Riding Surface Width	5 ft min
Buffer	3 ft min, painted buffer, Curb, or planter strip
Movement	With traffic or dual direction
Intersection Detailing	Signalized, Peg-a-Track, colored, Bicycle Box
Bicycle Parking	Rack, bicycle shelter, bicycle station

Multi-Use Path

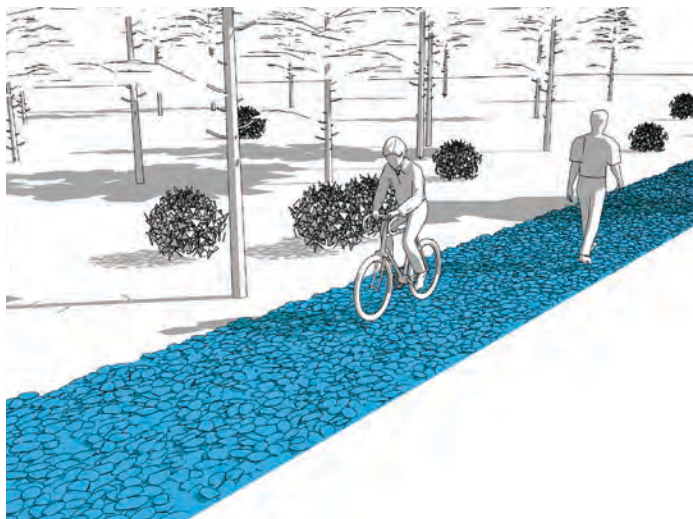


Illustration is provided for illustrative purposes only.

Permitted Districts

**CD-1 CD-2 CD-3L CD-3 CD-4 CD-EH
CD-IH CD-CV**

Riding Surface Width	8 ft min
Buffer	5 ft min from adjacent Thoroughfare
Movement	Dual-direction
Intersection Detailing	NA
Bicycle Parking	Opportunistic

14. Block Standards.

Each Block shall conform to the applicable Block Perimeter Standards set forth in **Tables 9.B.1 – 9.B.8 (Character District Standards)**.

15. Civic Space and other Open Space.

A. Civic Space and other Open Space.

Open Space within the PUD Property consists of all areas designated within Stewardship & Recreation Settlements, areas which are designated as Character District CD-1 (Natural) within other Settlement Types, and Civic Space provided pursuant to this Section 15. See **Table 7 (Settlement Types/ Character Districts)** hereof and **(Attachment V.B-1 (Master PUD Plan))**.

In addition to Open Space within areas designated as Stewardship & Recreation on the Master PUD Site Plan, Open Space will be provided in accordance with the Master PUD Plan and these PUD Project Development Standards and shall designated on each applicable Final Development Plan as and when the various specific areas within the PUD Property are Developed.

Additionally, each Lot will conform to the Setback and Lot Coverage requirements set forth for the applicable Character District in the PUD Project Development Standards. See **Attachment V.B-2 (PUD Project Development Standards)**.

Except within Stewardship & Recreation Settlements and those parts of other Settlement types designated as Character District CD-1, each Settlement shall designate between 5% and 20% of its Gross Acreage as Civic Space assigned to Character District CD-CV.

All Civic Space shall comply with the applicable requirements on **Tables 9.B.1 – 9.B.8 (Character District Standards)**. Except to the extent that Civic Space or other Open Space is within a Stewardship and Recreation Settlement, Character District CD-1, or is comprised of or includes a wetland or waterbody, Civic Space and other Open Space shall conform to the Civic Space types permitted for the applicable Character District pursuant to **Table 15 (Civic Space Types)**.

B. Active Recreation & Other Amenities.

With the exception of any Recreation center, pool, Sports Field or Courts, cabana/clubhouse, health/exercise facility, and similar Uses which may be provided in conjunction with any Residential Uses, all Civic Space and all Open Space designated within Stewardship & Recreation Settlements and areas designated as Character District

CD-1 (Natural) within other Settlement Types shall be open to the public.


Without limitation to the foregoing, Open Space open to the public may include any or all of the following amenities: pedestrian walkways, footpaths, trails, boardwalks, promenades, bikeways, exercise courses, dog/pet parks, waterbodies, docks, launches and courses for canoes, kayaks, small pram boats, or paddle boats, and other active Recreational Uses.

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V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2 PUD PROJECT DEVELOPMENT STANDARDS

TABLE 15 (CIVIC SPACE TYPES)

Natural Area



Permitted In / Adjacent to:

CD-1 | CD-2 | CD-EH | CD-IH | CD-CV

Intent

A natural area available for unstructured Recreation. A Natural Area may be independent of surrounding Building Frontages. Its landscape shall consist of Paths and trails, meadows, waterbodies, woodland and open shelters, all naturalistically disposed. Natural Areas may be lineal, following the trajectories of natural corridors. The minimum size is 8 acres.


Specifications

Size	8 ac min.
Frontage	Not Regulated
Character	Natural

Typical Facilities

- Passive and active Recreation
- Recreational and community facilities
- Playgrounds and play structures
- Paths and trails
- Accessory Buildings

Green



Permitted In / Adjacent to:

CD-3L | CD-3 | CD-4 | CD-EH | CD-IH | CD-CV

Intent

An open area, available for unstructured Recreation. A Green may be spatially defined by landscaping rather than Building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size is 0.5 acre and the maximum is 8 acres.


Specifications

Size	0.5 ac min., 8 ac max.
Frontage	Independent
Character	Informal

Typical Facilities

- Passive and active Recreation
- Playgrounds and play structures
- Paths and trails
- Accessory Buildings

Square



Permitted In / Adjacent to:

CD-4 | CD-EH | CD-IH | CD-CV

Intent

An open area available for unstructured Recreation and Civic purposes. A Square is spatially defined by Building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Streets. The minimum size is 0.5 acre and the maximum is 5 acres.

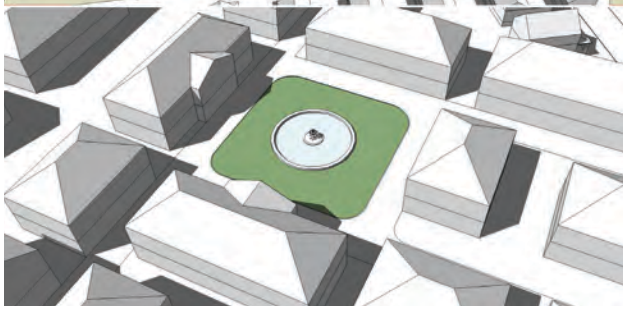
Specifications

Size	0.5 acres min., 5 acres max.
Frontage	Buildings
Character	Formal

Typical Facilities

- Passive Recreation
- Paths
- Accessory Buildings

Plaza



Permitted In / Adjacent to:

CD-4 | CD-EH | CD-IH | CD-CV

Intent

An open area available for Civic purposes. A Plaza shall be spatially defined by Building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas shall be located at the intersection of important Streets. The minimum size is 0.5 acre and the maximum is 2 acres.

Specifications

Size	0.5 ac min., 2 ac max.
Frontage	Buildings
Character	Formal

Typical Facilities

- Passive Recreation
- Paths
- Accessory Buildings
- Water features

Illustrations of Civic Space Types are provided for conceptual purposes.

Illustrations of Civic Space Types are provided for conceptual purposes.

V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2 PUD PROJECT DEVELOPMENT STANDARDS

TABLE 15 (CIVIC SPACE TYPES)

Playground



Permitted In / Adjacent to:

CD-1 | CD-2 | CD-3L | CD-3 | CD-4 | CD-EH
CD-IH | CD-CV

Intent

An open area designed and equipped for the Recreation of children. A Playground may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within Parks and Greens. There is no minimum or maximum size.

Specifications

Size	No min. No max.
Frontage	Buildings
Character	Formal or Informal

Typical Facilities

- Active Recreation
- Play structures
- Paths
- Water features

Illustrations of Civic Space Types are provided for conceptual purposes.

Sport Field, Court, or Course



Permitted In / Adjacent to:

CD-3L | CD-3 | CD-EH | CD-IH | CD-CV

Intent

An open area designed and equipped for team sports activities.

Specifications

Size	No min. No max.
Frontage	Buildings
Character	Formal

Typical Facilities

- Active Recreation
- Play structures

Community Garden



Permitted In / Adjacent to:

CD-2 | CD-3L | CD-3 | CD-4 | CD-EH | CD-IH
CD-CV

Intent

A grouping of garden plots available for small-scale cultivation, generally to residents without private gardens. Community gardens should be fenced and accommodate individual storage sheds. Running water is required. Community Gardens shall be interspersed within Residential areas and may be placed within a Block or included within Parks and Greens. There is no minimum or maximum size.

Specifications

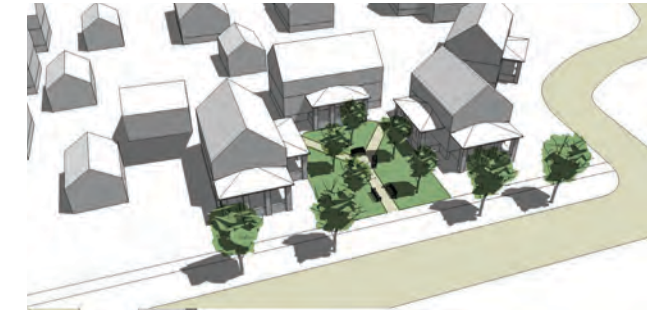
Size	No min. No max.
Frontage	May be Enfronted by Buildings or be located behind Buildings
Character	Formal

Typical Facilities

- Active Recreation
- Garden plots
- Accessory Buildings
- Running water

Illustrations of Civic Space Types are provided for conceptual purposes.

Pocket Park



Permitted In / Adjacent to:

CD-2 | CD-3L | CD-3 | CD-4 | CD-EH | CD-IH
CD-CV

Intent

A small predominantly green open area available for unstructured passive Recreation.

Specifications

Size	500 sq. ft. min. 0.5 acres max.
Frontage	Independent
Character	Formal

Typical Facilities

- Passive Recreation
- Community Gardens
- Playgrounds and play Structures
- Paths and trails
- Limited transient commercial concessions

V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2 PUD PROJECT DEVELOPMENT STANDARDS

16. Definitions.

Capitalized terms used in these PUD Project Development Standards shall have the meanings set forth in this Section 16 or set forth otherwise in these PUD Project Development Standards, or, if not so defined, the meanings given to such capitalized terms in the County Land Development Code. If any term is defined both in this document and in the County Land Development Code, the definition herein shall supersede the definition in the County Land Development Code. Any capitalized term used in these PUD Project Development Standards that is not defined herein or in the County Land Development Code shall be accorded their common meanings.

- a. "Accessory Building" – a Building that is an Accessory Structure.
- b. "Accessory Dwelling Unit" – a Dwelling Unit having a full kitchen and no more than one (1) bedroom, which shares ownership and Utility connections with a Principal Building; it may or may not be within an Accessory Structure.
- c. "Accessory Structure" – a Structure of a nature customarily incidental and subordinate to the principal Structure on the same premises as such subordinate Structure. Where a Building is attached to a principal Structure, it shall be considered a part thereof, and not an Accessory Structure.
- d. "Accessory Use" – a Use of a nature customarily incidental and subordinate to a Principal Use of the same premises.
- e. "Adjacent" – having any distance of real property boundary in common with another property, or being separated from the other property boundary by a Thoroughfare, right-of-way, alley, Rear Lane, or easement.
- f. "Arcade" – the Private Frontage Type described as such in **Table 9.H (Private Frontage Types)**.
- g. "Artisan" or "Artisan Establishment" – a Use in which articles of artistic quality or effect or handmade workmanship are produced with or without Retail sales of such articles.
- h. "Assisted Living Facility" – multiple unit Residential premises for elderly, infirm, or disabled residents, in which housekeeping, meals, and other assistance are available to residents.
- i. "Attic" – the interior part of a Building contained within a pitched roof, whether or not inhabitable.
- j. "Basement" – that portion of a Building having more than half of its clear floor-to-ceiling height below the average grade of the adjoining ground.

- k. "Bed and Breakfast Inn" – a Lodging Use characterized by an establishment that offers in an owner- or operator- occupied House up to 6 bedrooms to paying guests for overnight Lodging with breakfast.
- l. "Block" – an area circumscribed by Thoroughfares, or where applicable, circumscribed by Thoroughfares, Civic Space, Open Space, Pedestrian Paths, Passages, Sidewalks, and/or waterbodies.
- m. "Block Perimeter" – the sum of the length of all sides of a Block.
- n. "Building" – any Structure, other than a Parking Structure, having a roof supported by columns or by Walls and intended for the shelter, housing, enclosure, or storage of Persons or property.
- o. "Building Massing" – the overall shape or arrangement of the bulk or volume of a Building.
- p. "Building Type" – one of the types of Buildings described on **Table 9.I (Principal Building Types – Specific Standards)**.
- q. "Character District" – one of several areas on a Final Development Plan to which certain Character District standards are applied. See **Tables 9.B.1 – 9.B.8 (Character District Standards)**.
- r. "Civic" – as a Use, the term describing activities, Uses, purposes and governmental or not-for-profit organizations which are dedicated to arts, culture, education, religion, Recreation, government, transit, municipal parking, gardening, horticulture, public gathering, assembly or meeting.
- s. "Civic Building" – the Building type described as such on **Table 9.I (Principal Building Types – Specific Standards)**.
- t. "Civic Space" – an area within the Project designated for Civic Use.
- u. "Civil Support" – the category of Uses characterized by activities, services, and organizations providing aid and assistance to municipalities, their citizens, and their concerns.
- v. "Commercial" – a general reference to Uses characterized by activities, services, and organizations engaging in business for profit.
- w. "Commercial Building" – the Building Type described as such on **Table 9.I (Principal Building Types – Specific Standards)**.
- x. "Commercial Porch" – the Private Frontage Type described as such on **Table 9.H (Private Frontage Types)**.

- y. "Community Design Review Committee" – the committee designated as such for the Project pursuant to the covenants and restrictions for the Project.
- z. "Community Garden" – the Civic Space type described as such in **Table 15 (Civic Space Types)**.
- aa. "Common Destination" – an area of focused community activity, usually defining the approximate center of a Pedestrian Shed. It may include without limitation one or more of the following: a Civic Space, a Civic Building, a Commercial or mixed use center, or a transit station, and may act as the social center of a neighborhood.
- ab. "Common Yard" – the Private Frontage Type described as such in **Table 9.H (Private Frontage Types)**.
- ac. "Conference / Convention / Exhibition Center" – premises that accommodate conferences, exhibitions, meetings, seminars, training sessions, and other similar gatherings.
- ad. "Conservation" – the Use category characterized by the preservation, protection, or restoration of the natural environment, natural ecosystems, vegetation, and wildlife.
- ae. "Country Store Building" – the Building Type described as such on **Table 9.I (Principal Building Types – Specific Standards)**.
- af. "Courtyard" – the Private Frontage Type described as such in **Table 9.H (Private Frontage Types)**.
- ag. "Curb" – the edge of the vehicular pavement that may be either raised or flush with a swale to the extent allowed hereby. It usually incorporates or is associated with the drainage system. See **Table 13.B (Thoroughfare Types – Specific Standards)**.
- ah. "Development" – (1) commencing, making or planning for man-made changes to land, Structures, or other real property, including without limitation, re-development, clearing, excavation, grading, filling, construction, re-construction, Alteration, demolition, modification, subdivision or re-subdivision, installation of infrastructure, mining, dredging, paving, drilling, and storage of materials, whether such changes are horizontal, vertical, or subterranean, but excluding Agricultural and gardening activities and Ordinary Maintenance and Repair; (2) the resulting changes to such land, Structures, or other real property; and (3) with respect to a specific plan of Development or Development project, such Development or project.

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- ai. "Drive-Through Facility" – any accommodation designed or used for the transaction of business whereby the patrons may avail themselves of the services or products of an establishment while remaining in their vehicles, whether or not patrons are also able to obtain services or products inside of a structure.
- aj. "Driveway"– a vehicular access way within a Lot from a Thoroughfare to provide access only to a Parking Area, Parking Lot, Garage, Parking Structure, or Building entrance, but not designed to provide space for vehicular parking additional to that required for access or to have excess capacity that would encourage its use for parking.
- ak. "Duplex" – the Building Type described as such on **Table 9.I (Principal Building Types – Specific Standards)**.
- al. "Dwelling Unit" – a Building or each portion of a Building designed or used exclusively as Residential quarters for one occupant or Family living independently of any other occupant or Family, which includes separate complete sleeping, cooking, eating, and sanitation facilities for each such occupant or Family. The term shall not be deemed to include Hotel, Boardinghouse, or Rooming House.
- am. "Edgeyard" – the yard type that results from a Building being set back from its Lot boundaries at the front, rear, and both sides.
- an. "Elevation" or "elevation"– when capitalized, the exterior Walls of a Building; or when not capitalized, the height of any Structure above a given level or a drawing or design that represents an object or Structure as being projected geometrically on a vertical plane parallel to one of its sides, as the context indicates.
- ao. "Encroach" or "Encroachment" – to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.
- ap. "Enfront" – to place, or the location of, an element along a Frontage, as in "Porches Enfront the Street."
- aq. "Facade" – an exterior Wall of a Building that is set along a Frontage Line. See also Elevation.
- ar. "Fence" – the Private Frontage Type described as such in **Table 9.H (Private Frontage Types)**.
- as. "Final Development Plan" – as defined in section 33-3 of the County Land Development Code, and submitted for approval pursuant to the County Land Development Code section 33-3(d) or 33-3(j), including a map or set of maps that show the Thoroughfares, Character Districts, Civic Space and such other information regarding a specific site within the Project as required by Section 8 hereof.
- at. "Flex" – the Principal Building Type described as such in **Table 9.I (Principal Building Types – Specific Standards)**.
- au. "Forecourt" – the Private Frontage Type described as such in **Table 9.H (Private Frontage Types)**.
- av. "Frontage" – the area between a Facade and a Pedestrian Path, Passage, waterbody, Civic Space, Open Space, or the Curb (or if there is no Curb, the edge) of the vehicular lanes of a Thoroughfare having vehicular lanes, inclusive of the built and planted components of such area. Frontage is divided into Private Frontage and Public Frontage. Corner and through Lots have two Frontages, a Principal Frontage and a Secondary Frontage. See Principal Frontage and Secondary Frontage.
- aw. "Frontage Line" – the common line of the Public Frontage and Private Frontage.
- ax. "Gallery" – the Private Frontage Type described as such in **Table 9.H (Private Frontage Types)**.
- ay. "Garage" – a detached Building or Structure, or an extension of a Principal Building, used for the storage of one or more vehicles on a Lot as an Accessory Use, provided that no business, occupation or service is conducted for profit therein.
- az. "Green" – the Civic Space type described as such in **Table 15 (Civic Space Types)**.
- ba. "Hazardous Materials" – as defined in any applicable federal, state, county, or local law or regulation.
- bb. "Heavy Industrial" – the sub-category of Industrial Uses characterized by and collectively referring to factory production and industrial yards; research and Development activities without light fabrication and assembly operations; limited industrial/manufacturing activities; Industrial businesses, the sale of heavy equipment, Uses involving storage or use of highly flammable, toxic matter or explosive materials, or of Hazardous Materials; Uses that generate pollution, dust, odor, heat, glare, or vibration beyond the Walls of such enclosed Building or any light or glare beyond the boundaries of the land on which the Building is situated; any activity or Use that (1) is detrimental to the environment, (2) poses any danger or hazard of fire or explosion or other physical hazard, (3) causes, disseminates, or discharges any material, dust, smoke, gas, fumes, odor, noise, vibration beyond the Lot or parcel on which the Building is situated, (4) involves any Outside Storage, (5) results in any unusual traffic hazard or congestion, or (6) for which any water, air, or other environmental or pollution license or permit is required.
- bc. "Height" – as related to a Building, the vertical dimension of the Building, described, as applicable, (a) in number of Stories of the Building; excluding in each case (i) Attics under 14 feet in height at their tallest point; (ii) raised Basements; and (iii) masts, belfries, clock towers, spires, steeples, chimneys, chimney flues, flagpoles, or parapet walls not more than four feet (4') high.
- bd. "Hospitality" – as a Lodging Use, an establishment that offers guest rooms for overnight Lodging to paying guests in one or more Hospitality Buildings and/or other Building types permitted in the applicable Character District, which establishment may serve or provide meals, drinks, and/or other services to such guests and/or other customers, and which establishment may include any one or more of the following and any related facilities and amenities: conference, meeting room, and office facilities, Recreation amenities, Retail and Personal Service shops, restaurants, and lounge; as a Building Type, the Building Type described as such on **Table 9.I (Principal Building Types – Specific Standards)**. See also "Retreat". Not synonymous with Hotel.
- be. "House" – the Building Type described as such on **Table 9.I (Principal Building Types – Specific Standards)**.
- bf. "Hotel"–as a Lodging Use, an establishment that offers guest rooms for overnight Lodging to paying guests in a Building type permitted within the applicable Character District, which has its guest rooms accessible from a single entrance per Facade, which establishment may serve or provide meals, drinks, and/or other services to such guests and/or other customers, and which establishment may include any one or more of the following and any related facilities and amenities: conference, meeting room, and office facilities, Recreation amenities, Retail and Personal Service shops, restaurants, and lounge. Not synonymous with Hospitality as a Lodging Use.
- bg. "Improvement" – any man-made change of land, a Lot, or Development site, or a change to or creation of a Structure.
- bh. "Independent Living Apartment" – a multiple Dwelling Unit accommodation that provides Residential quarters for persons over a specified age, who do not require skilled nursing care, health care, or assistance with daily

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- activities, such as assistance with eating, dressing, ambulation, medication, bathing or toileting.
- bi. "Industrial" – the category of Uses that includes Light Industrial and Heavy Industrial Uses.
- bj. "Institutional" – the category of Uses characterized by serving the public's social, health, or cultural needs.
- bk. "Large Scale Commercial Building" – the Principal Building type described as such in **Table 9.I (Principal Building Types – Specific Standards)**.
- bl. "Light Industrial" – the sub-category of the Industrial Uses Category characterized by and collectively referring to fabrication, creation, processing, production, packaging, converting, altering, assembling, handling, storage, treatment, distribution, disposal, creation, assemblage, processing, or production, and/or treating, designing, fitting, compounding, repairing, assembling, testing, storing, warehousing, selling at wholesale, distributing or transferring, and/or repair, of or from natural, man-made, products or other goods, raw, secondary, partially completed or completed materials, components, products, by-products, goods, materials, or information, and wholesaling of industrial, business, or consumer machinery, equipment, which activity is: (1) conducted solely within an enclosed Building, (2) is not detrimental to the environment; (3) does not pose any danger or hazard of fire or explosion or other physical hazard; (4) does not generate, cause, disseminate, or discharge any pollution, material, dust, smoke, gas, fumes, odor, noise, heat, light, glare, or vibration beyond the Lot or parcel on which the Building is situated; (5) does not involve any Outside Storage; (6) will not result in any unusual traffic hazard or congestion; (7) does not require any water, air, or other environmental or pollution license or permit is required; and (8) does not involve storage or use of highly flammable, toxic matter or explosive materials, or of Hazardous Materials.
- bm. "Linear Pedestrian Shed" – a Pedestrian Shed that is elongated along an important corridor. A Linear Pedestrian Shed extends approximately 1/4 mile from each side of the corridor. The resulting area is oblong.
- bn. "Liner Building" – a Building that is at least 20 feet deep measured from the Facade, which masks a Parking Structure from the Frontage at least up to the height of the second level of the Parking Structure.
- bo. "Live/Work" – the Principal Building type described as such in **Table 9.I (Principal Building Types – Specific Standards)**.
- bp. "Lodging" – the Use category characterized by premises available for daily or weekly renting of bedrooms.
- bq. "Long Term Care Facility" – premises at which living accommodations, bed care, boarding, in-patient service and/or nursing or other medical care are provided for aged, infirm, disabled, or persons who are afflicted with or convalescing from any disease or ailment, or other persons requiring regular medical attention, including nursing homes and skilled care facilities, but excluding Assisted Living Facilities, Independent Living Facilities, and facilities that provide surgical or emergency medical services, care for substance abuse or addiction, mental disease other than dementia, or communicable disease.
- br. "Lot" – a parcel of land, whether or not subdivided, which is designated in a plan, plat, application, or permit as a site for, and which accommodates or is available to accommodate, one or more Principal Buildings.
- bs. "Lot Coverage" – that portion of a Lot covered by Buildings.
- bt. "Main Entrance" – the principal point of access for pedestrians into a Building.
- bu. "Master PUD Plan" – the Master PUD Plan included with the PUD Rezoning Application, as the same may be revised or amended from time to time pursuant to the PUD Rezoning Application.
- bv. "Mixed-Use Building" – the Principal Building type described as such in **Table 9.I (Principal Building Types – Specific Standards)**.
- bw. "Mixed-Use Street" – the Thoroughfare type described as such in **Table 13.B (Thoroughfare Types – Specific Standards)**.
- bx. "Natural Area" – the Civic Space type described as such in **Table 15 (Civic Space Types)**.
- by. "Neighborhood Street" – the Thoroughfare type described as such in **Table 13.B (Thoroughfare Types – Specific Standards)**.
- bz. "Office" – the Use category characterized by premises available for the transaction of business, governmental, or non-profit operations.
- ca. "Officefront" – the Private Frontage type described as such in **Table 9.H (Private Frontage Types)**.
- cb. "Open Space" – collectively, all areas designated as Stewardship & Recreation Settlements, areas designated as Character District CD-1 (Natural) within other Settlement types, areas designated as Character District CD-CV, all Civic Space provided pursuant to Section 15, and all waterbodies, in each case, whether natural, landscaped or hardscaped, and whether available for active or passive Recreation.
- cc. "Owner" – Sandricourt Farms LLC and its successors and assigns in respect of its rights under the PUD Rezoning Application.
- cd. "Parking Area" – an off-Street, ground-level open area within a Lot for parking vehicles as an Accessory Use incidental to a Principal Use of the Lot or Principal Building on the Lot. Not synonymous with Parking Lot.
- ce. "Parking Lot" – an off-Street, ground-level open area within a Lot for vehicular parking as a Principal Use. Not synonymous with Parking Area.
- cf. "Parking Structure" – an Improvement for vehicular parking above grade.
- cg. "Passage" – a pedestrian connector, open or roofed, that passes between Buildings to provide a shortcut through a long Block or to connect rear parking accommodations to a Frontage.
- ch. "Pedestrian Path" – an informal paved or unpaved walkway for use by pedestrians.
- ci. "Pedestrian Shed" – an area of a size approximately equal to the average distance comfortably walked by pedestrians and approximately centered on a Common Destination. There are two types of Pedestrian Sheds: Standard Pedestrian Sheds and Linear Pedestrian Sheds. See "Standard Pedestrian Shed" or "Linear Pedestrian Shed".
- cj. "Personal Improvement Education" – an establishment primarily engaged in the provision of information or instruction relating to a particular subject, interest, or hobby.
- ck. "Personal Services" – a Service Use that refers collectively to providing a service to or for a person for compensation and the provider of such service dealing directly with such consumer, which Use may or may not include the Retail sale of goods related to the services provided, including without limitation, barber and beauty shops, shoe repair, interior decorators, health clubs and gymnasiums, spas, laundries and dry cleaners, tailors, dry cleaning pickup, travel agencies, and similar Uses; but excluding services provided by a medical professional and adult entertainment.
- cl. "Playground" – the Civic Space type described as such in **Table 15 (Civic Space Types)**.
- cm. "Plaza" – the Civic Space type described as such in **Table 15 (Civic Space Types)**.

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- cn. "Pocket Park" – the Civic Space type described as such in **Table 15 (Civic Space Types)**.
- co. "Porch" – the Private Frontage Type described as such in **Table 9.H (Private Frontage Types)**.
- cp. "Principal Building" – the main Building on a Lot, located toward the Frontage, in which is conducted a Principal Use of such Lot.
- cq. "Principal Use" – a primary or predominant Use of a Lot, Building or Structure.
- cr. "Principal Frontage" – with respect to (a) corner or through Lots, the Frontage designated to bear the address and Principal Entrance to the Building, and the measure of Lot Width; and (b) other Lots, Principal Frontage is synonymous with Frontage. See Frontage.
- cs. "Private Frontage" – the privately held area between the Frontage Line and the Facade of the Principal Building, or if there is no such Building, between the Frontage Line and the front Setback line.
- ct. "Project" or "Agricola Project,"– the Project described in the PUD Rezoning Application for the PUD Property, as approved by the Board of County Commissioners of Clay County, Florida.
- cu. "Public Frontage" – the area between the Frontage Line and
- in the case of a Lot that Enfronts a Thoroughfare having vehicular lanes, the Curb (or if there is no Curb, the edge) of the vehicular lanes, or
 - in the case of a Lot that Enfronts an Open Space, Civic Space, Pedestrian Path, Passage, waterbody, or Driveway, such Open Space, Civic Space, Pedestrian Path, Passage, waterbody, or Driveway.
- All or a portion of the Public Frontage may be publicly or privately owned and, if privately owned, will be made available for public use by non-exclusive easement.
- cv. "PUD Property" – as defined in Section 1.
- cw. "Rear Alley" – the Thoroughfare type described as such in **Table 13.B (Thoroughfare Types – Specific Standards)**.
- cx. "Rear Lane" – the Thoroughfare type described as such in **Table 13.B (Thoroughfare Types – Specific Standards)**.
- cy. "Recreational", "Recreation", or "Recreation & Entertainment" – the Use or category of Uses characterized by activities for personal enjoyment or entertainment during a person's discretionary time.
- cz. "Recreation Facility" – premises accommodating Recreation or entertainment.
- da. "Rehabilitation Facility" – a facility operated for the primary purpose of assisting in the rehabilitation of individuals through an integrated program of medical, psychological, physical, occupational, substance, social, or vocational evaluation and services under competent professional supervision.
- db. "Residential" – the Use category characterized by premises available for long-term human habitation.
- dc. "Retail" – the sale of goods directly to the consumer of such goods, including without limitation indoor or outdoor Retail or restaurant kiosks, grocery stores and other Retail sale of food and drugs (including "club" and wholesale-type grocery stores), convenience stores with or without the sale of petroleum, electricity, or natural gas for vehicles, fruit, vegetable, meat or fish markets, apparel, toys, sundries and notions, books and stationery, leather goods and luggage, jewelry, art, cameras or photographic supplies (including camera repair), sporting goods, hobby shops, pet shops, musical instruments, florists, delicatessens, bakeries, restaurants, home furnishings and appliances (including repairs incidental to sales), stand-alone automated teller machines, office supplies, equipment or furniture, hardware, antiques, new automobile parts (including rebuilt parts) and accessories, plant nurseries, home improvement, and similar Retail Uses.
- dd. "Retail / Service / Artisan" – the category of Uses that includes Retail, Service, and Artisan Uses.
- de. "Screen" –
- used as a verb, to block an item or condition from view from a vantage point in accordance with the requirements hereof by interposition of a Building, Building element, architectural element, Wall, fence, or other element, or an evergreen hedge; or
 - used as a noun, a Building, Building element, architectural element, Wall, fence, or other element, or an evergreen hedge that blocks an item or condition from view from a vantage point, as required hereby.
- df. "Secondary Frontage" – on corner and through Lots, the Frontage that is not the Principal Frontage.
- dg. "Senior Housing" – Residential accommodations made available exclusively over a specified age and/or persons who need assistance with activities of daily living, including Independent Living Facility, Assisted Living Facility, memory care, homes for the aged, housing for the elderly, adult congregate living facilities, community homes for the elderly, group care homes for the elderly and similar uses.
- dh. "Service" – a Use that refers collectively to providing work or assistance to or for a customer for compensation and the provider of such work or assistance dealing directly with such consumer, which Use may or may not include the Retail sale of goods related to the services provided, excluding services provided by a medical professional and adult entertainment. Personal Service is a type of Service.
- di. "Setback" – the area of a Lot measured from one of its boundary lines to a Building Wall, which area is required to be maintained clear of permanent Structures other than permitted Encroachments.
- dj. "Settlement" – places of different types and Development densities and intensities, ranging from Open Space to complete mixed-use villages. The eight (8) Settlement types within the PUD Project are more fully described in Section 5 hereof.
- dk. "Sidewalk" – the paved section of the Public Frontage dedicated primarily to pedestrian activity.
- dl. "Sideyard" – the yard type that results from a Building being set back from its Lot boundaries at both sides.
- dm. "Shared Parking Factor" – a number by which the total number of required Parking Spaces for two Uses is divided to reduce such requirement pursuant to Section 10.A(5)(B).
- dn. "Shopfront" – the Private Frontage type described as such in **Table 9.H (Private Frontage Types)**.
- do. "Small Multifamily" – the Building type described as such in **Table 9.I (Principal Building Types – Specific Standards)**.
- dp. "Sports Field or Court" – the Civic Space type described as such in **Table 15 (Civic Space Types)**.
- dq. "Square" – the Civic Space type described as such in **Table 15 (Civic Space Types)**.
- dr. "Standard Pedestrian Shed" – a Pedestrian Shed that is an average 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace.
- ds. "Street" – generic reference to any vehicular way defined as such in the County Ordinance Code; or specifically as to one of the Thoroughfare types

described in **Table 13.B (Thoroughfare Types – Specific Standards)**, the Thoroughfare type so described.

- dt. "Streetscreen" – a type of Screen situated along a Frontage Line, or along the same plane as a Facade, consisting of a planted evergreen hedge or freestanding Wall, which blocks the view of parking, equipment, or other item or condition from the Frontage, provides privacy to a yard, or strengthens the spatial definition of the public realm.
- du. "Stoop" – the Private Frontage Type described as such in **Table 9.H (Private Frontage Types)**.
- dv. "Story" – a habitable level within a Building, being that portion included between the surface of any floor and the surface of the floor next above it; if there is no floor above it, then the space between the floor and the ceiling next above it; excluding an Attic or a raised Basement.
- dw. "Terrace/Lightwell" – the Private Frontage Type described as such in **Table 9.H (Private Frontage Types)**.
- dx. "Theater" – a Building or part of a Building devoted to the showing of motion pictures, or theatrical or performing arts productions as a Principal Use.
- dy. "Thoroughfare" – a public or private way for use by vehicular, bicycle, and/or pedestrian traffic and to provide access to Lots and Open Spaces, consisting of vehicular lanes and the Public Frontage.
- dz. "Townhouse" – the Building type described as such on **Table 9.I (Principal Building Types – Specific Standards)**.
- ea. "Turning Radius" – the inside radius of the vehicular lanes available for a vehicle to make a turn, accounting for the presence of parking, medians, or other features.
- eb. "Use" – a specific function, activity, or purpose accommodated by or intended to be accommodated by land, a Lot, or a Structure, or for which land, Lot, or Structure is designed, arranged, intended, occupied or maintained.
- ec. "Utility(ies)" – the Use category, Uses, activities, and equipment involved with the provision of electricity, gas, water, sewage, telephone, cable, or other publicly regulated service.
- ed. "Wall" – a vertical structure that supports a Building or encloses or separates an area of land.

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V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2 PUD PROJECT DEVELOPMENT STANDARDS - EXHIBIT 1 PUD PROPERTY DESCRIPTION

PARCEL 1

A PORTION OF SECTIONS 31 AND 32, TOWNSHIP 6 SOUTH, RANGE 26 EAST, TOGETHER WITH SECTION 4 AND A PORTION OF SECTIONS 3, 4, 5, 8, 9, 10, 11, 14, 15 AND 16, TOWNSHIP 7 SOUTH, RANGE 26 EAST, CLAY COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWESTERLY CORNER OF SAID SECTION 4; THENCE EASTERLY, ALONG THE NORTHERLY LINE OF SAID SECTION 4, RUN THE FOLLOWING SIX (6) COURSES AND DISTANCES: COURSE NO. 1: NORTH 89°29'53" EAST, 1,309.30 FEET; COURSE NO. 2: NORTH 89°28'18" EAST, 1,322.93 FEET; COURSE NO. 3: NORTH 89°29'33" EAST, 655.51 FEET; COURSE NO. 4: SOUTH 87°19'10" EAST, 660.96 FEET; COURSE NO. 5: SOUTH 71°36'41" EAST, 692.39 FEET; COURSE NO. 6: SOUTH 71°38'22" EAST, 714.46 FEET TO THE NORTHERLY LINE OF SAID SECTION 3; THENCE SOUTH 89°55'26" EAST, ALONG LAST SAID LINE, 1,454.13 FEET TO THE EASTERLY LINE OF THE WEST ONE-HALF OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 3; THENCE SOUTH 00°05'57" WEST, ALONG LAST SAID LINE, 1,489.55 FEET TO THE NORTHERLY LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 3; THENCE SOUTH 89°55'26" EAST, ALONG LAST SAID LINE, 803.41 FEET TO THE WESTERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 3367, PAGE 523 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 00°04'30" WEST, ALONG LAST SAID LINE, 1,301.30 FEET TO THE SOUTHERLY LINE OF LAST SAID LANDS; THENCE NORTH 56°53'54" EAST, ALONG LAST SAID LINE, 932.33 FEET; THENCE NORTH 57°50'36" EAST, CONTINUING ALONG LAST SAID LINE, 344.58 FEET TO THE SOUTHERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 3429, PAGE 892 OF SAID PUBLIC RECORDS AND THE POINT OF CURVATURE OF A CURVE LEADING EASTERLY; THENCE EASTERLY, ALONG LAST SAID LINE, RUN THE FOLLOWING THREE (3) COURSES AND DISTANCES: COURSE NO. 1: EASTERLY, ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 1,872.56 FEET, AN ARC DISTANCE OF 929.04 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 72°03'23" EAST, 919.54 FEET TO THE POINT OF COMPOUND CURVATURE OF A CURVE LEADING EASTERLY; COURSE NO. 2: EASTERLY, ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 575.00 FEET, AN ARC DISTANCE OF 134.59 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 87°01'28" EAST, 134.28 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE LEADING EASTERLY; COURSE NO. 3: EASTERLY, ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 1,357.11 FEET, AN ARC DISTANCE OF 480.76 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 89°31'58" EAST, 478.25 FEET TO THE WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY NO. 17 (A 184 FOOT RIGHT OF WAY, AS NOW ESTABLISHED); THENCE SOUTH 21°18'25" EAST, ALONG LAST SAID LINE, 175.83 FEET; THENCE SOUTH 21°22'27" EAST, CONTINUING ALONG LAST SAID LINE, 174.59 FEET TO THE NORTHERLY LINE OF THE SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 3; THENCE NORTH 89°52'54" WEST, ALONG LAST SAID LINE AND ALONG THE NORTHERLY LINE OF THE EAST ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 3, A DISTANCE OF 1,178.96 FEET TO THE NORTHERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 4603, PAGE 404 OF SAID PUBLIC RECORDS; THENCE WESTERLY AND SOUTHWESTERLY, ALONG LAST SAID LINE, RUN THE FOLLOWING FOUR (4) COURSES AND DISTANCES: COURSE NO. 1: NORTH 89°51'40" WEST, 90.46 FEET; COURSE NO. 2: SOUTH 65°56'02" WEST, 146.34 FEET; COURSE NO. 3: SOUTH 57°50'36" WEST, 248.54 FEET; COURSE NO. 4: SOUTH 57°10'48" WEST, 1,899.78 FEET TO THE WESTERLY LINE OF LAST SAID LANDS; THENCE SOUTH 00°07'32" WEST, ALONG LAST SAID LINE, 73.04 FEET TO THE NORTHERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1589, PAGE 1496 OF SAID PUBLIC RECORDS; THENCE NORTH 89°56'26" WEST, ALONG LAST SAID LINE, 660.24 FEET TO THE WESTERLY LINE OF LAST SAID LANDS; THENCE SOUTH 00°02'10" WEST, ALONG LAST SAID LINE, 660.07 FEET TO THE SOUTHERLY LINE OF LAST SAID LANDS; THENCE SOUTH 89°50'21" EAST, ALONG LAST SAID LINE, 659.21 FEET TO THE AFORESAID WESTERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 4603, PAGE 404; THENCE SOUTH 00°07'32" WEST, ALONG LAST SAID LINE, 662.84 FEET TO THE SOUTHERLY LINE OF LAST SAID LANDS; THENCE SOUTH 89°48'45" EAST, ALONG LAST SAID LINE, 1,019.83 FEET TO THE WESTERLY LINE OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 10; THENCE SOUTH 00°17'08" WEST, ALONG LAST SAID LINE, 1,308.61 FEET; THENCE SOUTH 89°50'06" EAST, 665.65 FEET; THENCE SOUTH 00°22'37" WEST, 1,317.26 FEET; THENCE SOUTH 00°33'40" WEST, 110.23 FEET TO THE NORTHERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 3281, PAGE 1681; THENCE WESTERLY, SOUTHERLY AND EASTERLY, ALONG THE NORTHERLY, WESTERLY AND SOUTHERLY LINES OF LAST SAID LANDS, RUN THE FOLLOWING SIX (6) COURSES AND DISTANCES: COURSE NO. 1: NORTH 89°46'58" WEST, 253.01 FEET; COURSE NO. 2: SOUTH 00°27'17" WEST, 820.49 FEET; COURSE NO. 3: SOUTH 81°22'31" EAST, 54.61 FEET; COURSE NO. 4: SOUTH 22°01'50" EAST, 35.00 FEET; COURSE NO. 5: SOUTH 42°13'08" WEST, 18.46 FEET; COURSE NO. 6: SOUTH 89°46'58" EAST, 197.86 FEET TO THE WESTERLY LINE OF THE NORTHEAST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 10; THENCE SOUTH 00°16'28" WEST, ALONG LAST SAID LINE, 335.58 FEET TO THE SOUTHERLY LINE OF LAST SAID LANDS; THENCE SOUTH 89°51'37" EAST, ALONG LAST SAID LINE, 663.74 FEET TO THE WESTERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 3241, PAGE 323 OF SAID PUBLIC RECORDS; THENCE SOUTH 00°20'33" WEST, ALONG LAST SAID LINE, 55.38 FEET TO THE SOUTHERLY LINE OF LAST SAID LANDS; THENCE SOUTH 89°41'02" EAST, ALONG LAST SAID LINE, 1,289.35 FEET TO THE SOUTHERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 3623, PAGE 818 OF SAID PUBLIC RECORDS; THENCE SOUTH 89°41'02" EAST, ALONG LAST SAID LINE, 1,363.37 FEET TO THE EASTERLY LINE OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 11; THENCE SOUTH 00°33'53" WEST, ALONG LAST SAID LINE, 607.54 FEET TO THE EASTERLY LINE OF THE NORTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 14; THENCE SOUTH 00°09'27" EAST, ALONG LAST SAID LINE, 660.28 FEET TO THE NORTHERLY LINE OF THE SOUTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 14; THENCE SOUTH 89°27'11" EAST, ALONG LAST SAID LINE, 832.79 FEET TO

THE WESTERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 1800, PAGE 1656 OF SAID PUBLIC RECORDS; THENCE SOUTH 00°09'23" EAST, ALONG LAST SAID LINE, 428.57 FEET TO THE SOUTHERLY LINE OF LAST SAID LANDS; THENCE NORTH 89°50'53" EAST, ALONG LAST SAID LINE, 492.14 FEET TO THE EASTERLY LINE OF LAST SAID LANDS; THENCE NORTH 00°12'30" WEST, ALONG LAST SAID LINE, 423.10 FEET TO THE NORTHERLY LINE OF THE SOUTH ONE-HALF OF THE NORTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 14; THENCE SOUTH 89°27'34" EAST, ALONG LAST SAID LINE, 15.56 FEET TO THE AFORESAID WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY NO. 1; THENCE SOUTH 21°23'31" EAST, ALONG LAST SAID LINE, 534.74 FEET TO THE NORTHWESTERLY RIGHT OF WAY LINE OF LENO ROAD (A 40 FOOT PRESCRIPTIVE RIGHT OF WAY); THENCE SOUTH 46°44'56" WEST, ALONG LAST SAID LINE, 237.01 FEET TO THE SOUTHERLY LINE OF THE NORTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 14; THENCE NORTH 89°12'44" WEST, ALONG LAST SAID LINE, 10.54 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF LENO ROAD (A COUNTY RIGHT OF WAY); THENCE SOUTHWESTERLY, ALONG LAST SAID LINE, RUN THE FOLLOWING THREE (3) COURSES AND DISTANCES: COURSE NO. 1: SOUTH 41°05'10" WEST, 463.73 FEET; COURSE NO. 2: SOUTH 40°18'24" WEST, 1,516.85 FEET TO THE ARC OF A CURVE LEADING SOUTHWESTERLY; COURSE NO. 3: SOUTHWESTERLY, ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 173.04 FEET, AN ARC DISTANCE OF 80.55 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 51°08'38" WEST, 79.82 FEET TO THE EASTERLY LINE OF THE NORTH ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 14; THENCE NORTH 00°57'27" WEST, ALONG LAST SAID LINE, 247.75 FEET TO THE EASTERLY LINE OF THE SOUTH ONE-HALF OF THE SOUTHWEST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF SAID SECTION 14; THENCE NORTH 00°17'03" EAST, ALONG LAST SAID LINE, 661.11 FEET TO THE NORTHERLY LINE OF LAST SAID LANDS; THENCE NORTH 89°32'31" WEST, ALONG LAST SAID LINE, 1,329.44 FEET TO THE WESTERLY LINE OF LAST SAID LANDS; THENCE SOUTH 00°17'07" EAST, ALONG LAST SAID LINE AND ALONG THE WESTERLY LINE OF SAID NORTH ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF SECTION 14, A DISTANCE OF 990.36 FEET TO THE SOUTHERLY LINE OF LAST SAID LANDS; THENCE SOUTH 89°33'47" EAST, ALONG LAST SAID LINE, 938.82 FEET TO THE CENTERLINE OF AN EXISTING PRIVATE ACCESS ROAD KNOWN AS "LENO ROAD"; THENCE WESTERLY, ALONG LAST SAID LINE, RUN THE FOLLOWING TEN (10) COURSES AND DISTANCES: COURSE NO. 1: SOUTH 72°53'36" WEST, 506.77 FEET TO THE ARC OF A CURVE LEADING WESTERLY; COURSE NO. 2: WESTERLY, ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 914.15 FEET, AN ARC DISTANCE OF 303.50 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 84°01'41" WEST, 302.11 FEET; COURSE NO. 3: SOUTH 89°51'35" WEST, 318.88 FEET TO THE ARC OF A CURVE LEADING WESTERLY; COURSE NO. 4: WESTERLY, ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 4,947.74 FEET, AN ARC DISTANCE OF 865.35 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 84°54'30" WEST, 864.24 FEET; COURSE NO. 5: SOUTH 74°35'16" WEST, 783.13 FEET TO THE ARC OF A CURVE LEADING WESTERLY; COURSE NO. 6: WESTERLY, ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 3,384.81 FEET, AN ARC DISTANCE OF 977.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 86°59'41" WEST, 973.61 FEET; COURSE NO. 7: NORTH 83°15'33" WEST, 4,013.82 FEET TO THE ARC OF A CURVE LEADING WESTERLY; COURSE NO. 8: WESTERLY, ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 1,389.36 FEET, AN ARC DISTANCE OF 144.34 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 88°36'32" WEST, 144.28 FEET TO THE ARC OF A CURVE LEADING WESTERLY; COURSE NO. 9: WESTERLY, ALONG AND AROUND THE ARC OF SAID CURVE, CONCAVE NORTHERLY, HAVING A RADIUS OF 914.71 FEET, AN ARC DISTANCE OF 82.60 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 84°38'50" WEST, 82.57 FEET; COURSE NO. 10: NORTH 76°12'35" WEST, 861.92 FEET TO THE CENTERLINE OF A 110 FOOT FLORIDA POWER AND LIGHT COMPANY EASEMENT AS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 511, PAGE 606 OF SAID PUBLIC RECORDS; THENCE NORTH 00°36'12" WEST, ALONG LAST SAID LINE, 2,865.43 FEET TO THE SOUTHERLY LINE OF SAID SECTION 9; THENCE SOUTH 89°31'39" EAST, ALONG LAST SAID LINE, 586.45 FEET TO THE SOUTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 9; THENCE NORTH 00°06'08" WEST, ALONG LAST SAID LINE, 657.92 FEET TO THE NORTHERLY LINE OF LAST SAID LANDS; THENCE NORTH 89°35'05" WEST, ALONG LAST SAID LINE, 592.49 FEET TO THE AFORESAID CENTERLINE OF A 110 FOOT FLORIDA POWER AND LIGHT COMPANY EASEMENT; THENCE NORTH 00°37'43" WEST, ALONG LAST SAID LINE, 1,012.92 FEET; THENCE NORTH 22°53'54" WEST, CONTINUING ALONG LAST SAID LINE, 2,462.06 FEET; THENCE SOUTH 53°59'34" WEST, 936.99 FEET; THENCE SOUTH 49°19'06" WEST, 236.33 FEET; THENCE SOUTH 46°56'34" WEST, 116.64 FEET; THENCE SOUTH 41°54'24" WEST, 153.86 FEET; THENCE SOUTH 29°29'44" WEST, 199.85 FEET; THENCE SOUTH 24°19'49" WEST, 527.22 FEET; THENCE SOUTH 27°24'27" WEST, 149.23 FEET; THENCE SOUTH 41°07'05" WEST, 161.99 FEET; THENCE SOUTH 50°21'44" WEST, 180.29 FEET TO THE WESTERLY LINE OF SAID SECTION 9; THENCE NORTH 00°13'13" WEST, ALONG LAST SAID LINE, 603.61 FEET TO THE SOUTHERLY LINE OF THE NORTH ONE-HALF OF SAID SECTION 8; THENCE NORTH 89°19'54" WEST, ALONG LAST SAID LINE, 1,789.67 FEET; THENCE NORTH 22°17'30" WEST, 7,323.43 FEET; THENCE NORTH 44°51'36" WEST, 2,316.49 FEET; THENCE NORTH 19°00'49" WEST, 1,354.45 FEET; THENCE NORTH 90°00'00" EAST, 1,281.73 FEET; THENCE SOUTH 90°00'00" EAST, 300.19 FEET; THENCE NORTH 00°36'52" EAST, 1,847.23 FEET; THENCE NORTH 24°36'34" EAST, 208.87 FEET; THENCE NORTH 00°00'00" EAST, 395.74 FEET; THENCE NORTH 29°37'30" WEST, 756.26 FEET; THENCE NORTH 89°46'57" WEST, 1,341.65 FEET; THENCE NORTH 00°05'34" EAST, 80.00 FEET TO THE NORTHERLY LINE OF SAID SECTION 31; THENCE SOUTH 89°46'57" EAST, ALONG LAST SAID LINE, 1,342.38 FEET TO THE NORTHERLY LINE OF SAID SECTION 32; THENCE NORTH 89°58'33" EAST, ALONG LAST SAID LINE, 1,183.42 FEET TO THE WESTERLY LINE OF THOSE LANDS DESCRIBED AND RECORDED IN OFFICIAL RECORDS BOOK 3069, PAGE 1098 OF SAID PUBLIC RECORDS; THENCE SOUTHEASTERLY, SOUTHWESTERLY AND SOUTHERLY, ALONG LAST SAID LINE, RUN THE FOLLOWING NINE (9) COURSES AND DISTANCES: COURSE NO. 1: SOUTH 33°50'09" EAST, 471.39 FEET; COURSE NO. 2: SOUTH 34°18'28" WEST, 326.40 FEET; COURSE NO. 3: SOUTH 66°45'02" WEST, 12.08 FEET; COURSE NO. 4: SOUTH 24°31'12" EAST, 1,280.38 FEET; COURSE NO. 5: SOUTH 29°47'23" EAST, 579.85 FEET; COURSE NO. 6: SOUTH 19°01'35" WEST, 393.45 FEET; COURSE NO. 7: SOUTH 23°23'26" EAST, 1,097.20 FEET; COURSE NO. 8: SOUTH 29°22'05" EAST, 837.86 FEET; COURSE NO. 9: SOUTH 18°53'29" EAST, 888.53 FEET TO THE NORTHERLY LINE OF SAID SECTION 5; THENCE NORTH 89°44'11" EAST, ALONG LAST SAID LINE 2,230.19 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT

THE NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF THE SOUTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 7 SOUTH, RANGE 26 EAST, CLAY COUNTY, FLORIDA.

FURTHER LESS AND EXCEPT

THE NORTHWEST ONE-QUARTER OF THE SOUTHWEST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 26 EAST, CLAY COUNTY, FLORIDA.

FURTHER LESS AND EXCEPT

LOTS 4 THROUGH 21, INCLUSIVE, BLOCK 21, THE SOUTH ONE-HALF OF WALKILL AVENUE AND THE NORTH ONE-HALF OF SIXTH AVENUE, AS SHOWN ON THE PLAT OF WALKILL GARDENS, RECORDED IN PLAT BOOK 2, PAGE 51 OF THE PUBLIC RECORDS OF CLAY COUNTY FLORIDA.

CONTAINING A NET ACREAGE OF 3,143.96 ACRES, MORE OR LESS.

PARCEL 2

A PORTION OF SECTION 14, TOWNSHIP 7 SOUTH, RANGE 26 EAST, CLAY COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE INTERSECTION OF THE SOUTHERLY LINE OF THE NORTH 150 FEET OF THE SOUTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 14 WITH THE WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY NO. 1 (A 184 FOOT RIGHT OF WAY, AS NOW ESTABLISHED); THENCE NORTH 89°29'58" WEST, ALONG SAID SOUTHERLY LINE OF THE NORTH 150 FEET OF THE SOUTHWEST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 14, A DISTANCE OF 357.42 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF LENO ROAD (A COUNTY RIGHT OF WAY); THENCE NORTH 41°05'10" EAST, ALONG LAST SAID LINE, 197.52 FEET TO THE SOUTHERLY LINE OF THE NORTH ONE-HALF OF THE NORTHEAST ONE-QUARTER OF SAID SECTION 14 ; THENCE NORTH 89°29'58" WEST, ALONG LAST SAID LINE, 10.58 FEET TO THE SOUTHEASTERLY RIGHT OF WAY LINE OF LENO ROAD (A 40 FOOT PRESCRIPTIVE RIGHT OF WAY); THENCE NORTH 46°44'56" EAST, ALONG LAST SAID LINE, 179.18 FEET TO THE AFORESAID WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY NO. 1; THENCE SOUTH 21°23'31" EAST, ALONG LAST SAID LINE, 295.20 FEET TO THE POINT OF BEGINNING.

CONTAINING 1.16 ACRES, MORE OR LESS.

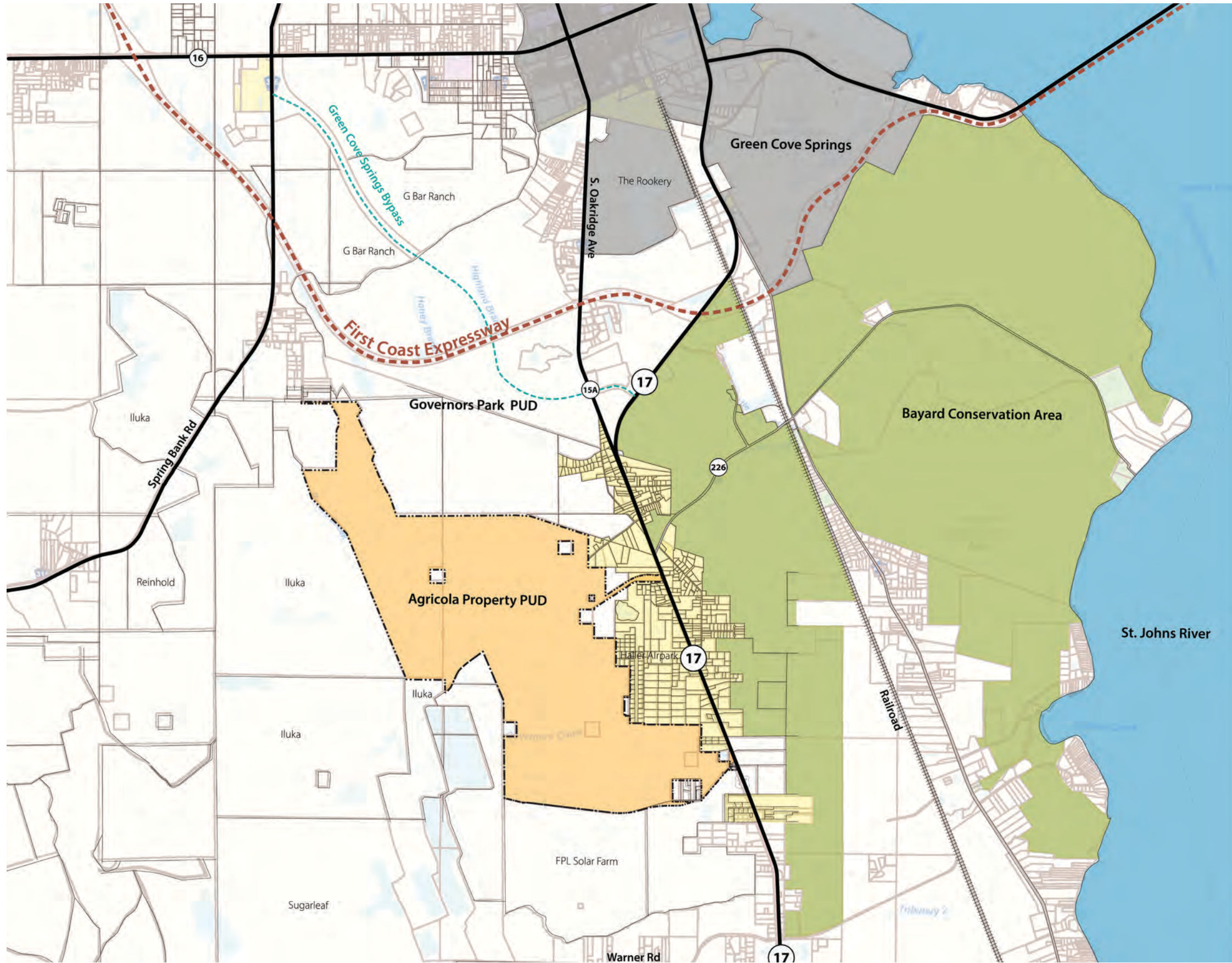
The Master PUD Plan is comprised of the following Parts 1-4, set forth on the following pages:

Part 1 – Vicinity Map

Part 2 – Boundary Survey Map

Part 3 – Topographic Survey





Part 4 – Master PUD Site Plan



Agricola Property PUD

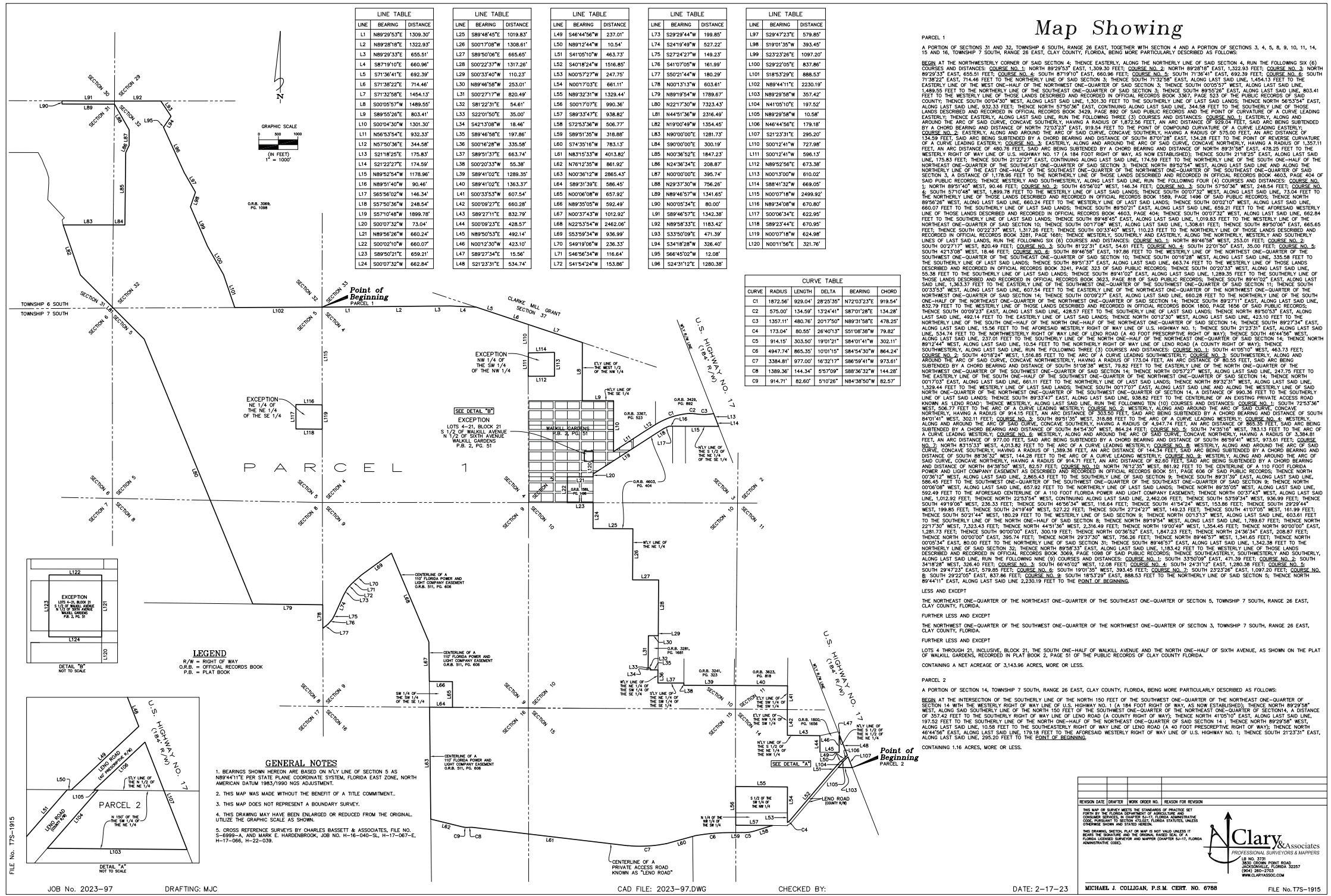
Master PUD Plan
Vicinity Map

Legend

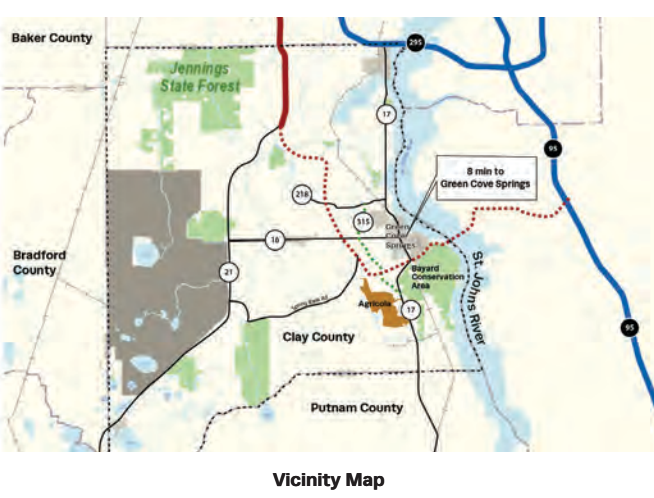
 Green Cove Springs	 First Coast Expressway
 Bayard Conservation Area	 Green Cove Springs Bypass

V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2PUD PROJECT DEVELOPMENT STANDARDS - EXHIBIT 2 MASTER PUD PLAN

Agricola Property PUD



Master PUD Plan Boundary Survey Map



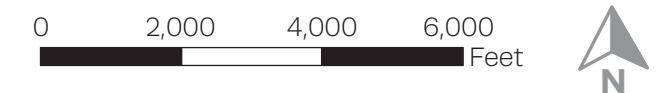


Agricola Property PUD

Master PUD Plan Topographic Survey

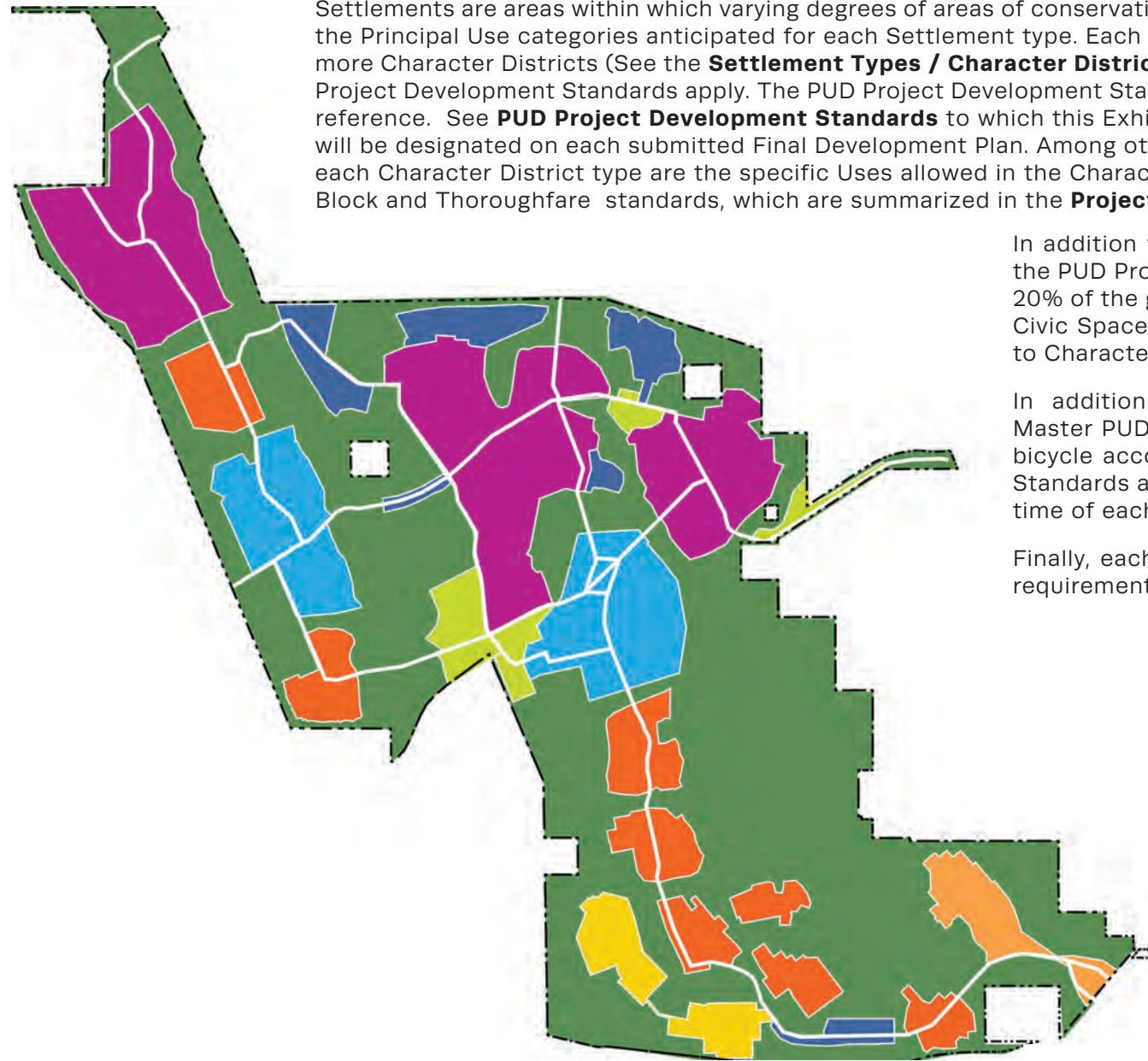


Vicinity Map



V. REZONING APPLICATION FORM-ATTACHMENT B-PUD WRITTEN STATEMENT: V.B-2 PUD PROJECT DEVELOPMENT STANDARDS - EXHIBIT 2 MASTER PUD PLAN - MASTER PUD SITE PLAN

This Master PUD Site Plan designates by type the general locations of several Settlements within the Agricola Property. Settlements are areas within which varying degrees of areas of conservation and Development may occur. In addition, it provides the Principal Use categories anticipated for each Settlement type. Each Settlement type is required to be comprised of one or more Character Districts (See the **Settlement Types / Character District Table**, below), which are areas to which specific PUD Project Development Standards apply. The PUD Project Development Standards are incorporated in the Master PUD Plan by this reference. See **PUD Project Development Standards** to which this Exhibit 2 Master PUD Plan is attached. Character Districts will be designated on each submitted Final Development Plan. Among other PUD Project Development Standards applicable to each Character District type are the specific Uses allowed in the Character District, applicable Lot dimensions, Setbacks, and Block and Thoroughfare standards, which are summarized in the **Project Development Standards Table** to the left.



In addition to Open Space shown on this Master PUD Site Plan, the PUD Project Development Standards require between 5% and 20% of the gross acreage of each Settlement to be designated as Civic Space of one or more of the permitted types and assigned to Character District CD-CV.

In addition to the primary Thoroughfares indicated on the Master PUD Site Plan, other Thoroughfares, pedestrian ways and bicycle accommodations meeting the PUD Project Development Standards are required to be located and identified by type at the time of each Final Development Plan submission.

Finally, each lot must conform to the setback and Lot Coverage requirements of the PUD Project Development Standards.

LAND USES BY SETTLEMENT TYPE

Settlement Type	Principal Use Categories
Stewardship & Recreation	Natural & other Open Space, Open Recreation Areas
Agriculture	Agricultural, Residential
Country Living	Residential
Corner	Residential, Commercial, Mixed-Use, Institutional
Hamlet	Residential, Commercial, Mixed-Use, Institutional
Village	Residential, Commercial, Mixed-Use, Institutional
Innovation Hub	Residential, Commercial, Mixed-Use, Institutional
Education Hub	Education

SETTLEMENT TYPES / CHARACTER DISTRICT	Stewardship & Recreation	Agriculture	Country Living	Corner	Hamlet	Village	Innovation Hub	Education Hub
CD-1								
CD-2	NP							
CD-3L	NP	NP					NP	NP
CD-3	NP	NP	NP					NP
CD-4	NP	NP	NP	LIGHT	LIGHT			
CD-IH	NP	NP	NP	NP	NP	NP		NP
CD-EH	NP	NP	NP	NP	NP	NP	NP	
CD-CV								

NP: Not Permitted

PROPOSED LAND USE		
	% of total site	Acres
Developed Land	40% - 50%	1,257-1,573
Open Space	50% - 60%	1,573-1,899
Total	100%	3,145

Regardless of percentage chosen within given range, the total should always equal 100% and total to 3,145 acres once.

RESIDENTIAL - PROPOSED MAXIMUM DENSITY & INTENSITY OF USE			
	Units	% of Units	Unit/ Gross Developed AC
Single-Family Residential - Detached	2,170	54.3	3.1
Single-Family Residential - DU/TH	370	9.3	
Multi-Family Residential	1,460	36.4	
Total	4,000	100	

NON-RESIDENTIAL - PROPOSED MAXIMUM DENSITY & INTENSITY OF USE	
	Keys
Hotel	100
GSF	
Education	640,000
Commercial	340,000
Office/Light Industrial/Flex	1,000,000

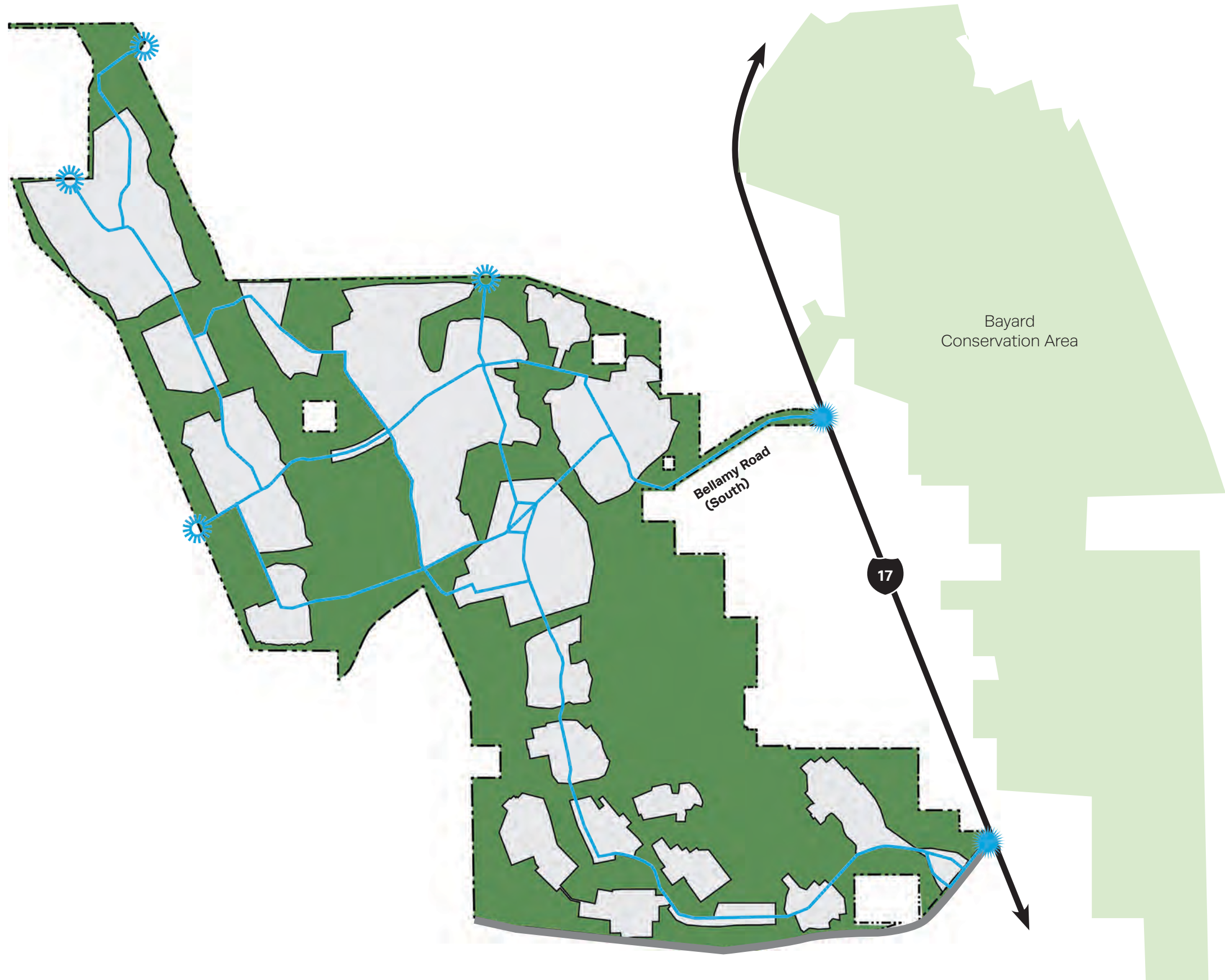
AGRICOLA PUD Master PUD Plan Master PUD Site Plan Settlements Map & Tables

PROJECT DEVELOPMENT STANDARDS								
	CD-1	CD-2	CD-3L	CD-3	CD-4	CD-EH	CD-IH	CD-CV
BLOCK SIZE								
Block Perimeter	NA	NR	3500 ft. max.	3000 ft. max.	2400 ft. max.	NR	NR	NR
THOROUGHFARES								
EL-20-14	NA	P	P	P	P	P	P	NR
RL-18-12	NA	P	P	P	P	NP	NP	NR
RA-20-14	NA	NP	NP	NP	P	P	P	NR
DR-48-18	P	P	NP	NP	NP	P	P	NR
RD-34-18	P***	P***	P***	P***	P***	P***	P***	P***
RD-50-20	P	P	P	P	NP	P	NP	NR
ST-60-36	NP	NP	P	P	P	P	P	NR
ST-56-32	NP	NP	P	P	P	P	NP	NR
SO-54-28	NP	NP	NP	NP	P	P	P	NR
MUS-62-36	NP	NP	NP	NP	P	P	P	NR
ST-44-18	NP	NP	P	P	P	P	NP	NR
LOT OCCUPATION								
Lot Size	NR	NR	NR	NR	NR	NR	NR	NR
Lot Width	NA	200 ft. min.	80 ft. min, 200 ft. max.	50 ft. min, 100 ft. max.	18 ft. min, 100 ft. max, except 45 ft. max. for House Building Type	NR	100 ft. max, except 50 ft. min, 150 ft. max. for Flex Building Type	NR
SETBACKS - PRINCIPAL BUILDING								
Front Setback (Principal)	NA	40 ft. min.	40 ft. min.	20 ft. min.	0 ft. min, 10 ft. max.	15 ft. min.	10 ft. min.	0 ft. min, 50 ft. of Lot Depth max.
Front Setback (Secondary)	NA	40 ft. min.	40 ft. min.	20 ft. min.	0 ft. min, 10 ft. max.	NA	NA	0 ft. min.
Side Setback	NA	50 ft. min.	20 ft. min.	12 ft. min.	0 ft. min.	10 ft. min.	5 ft. min.	0 ft. min.
Rear Setback	NA	20 ft. min.	20 ft. min.	20 ft. min.	3 ft. min.; or 5 ft. min. if along a Rear Lane or Rear Alley	NR	NR	0 ft. min.
Frontage Buildout	NA	NA	NA	40% min.	60% min.	NR	NR	NR
SETBACKS - ACCESSORY BUILDING								
Front Setback (Principal)	NA	20 ft. min. + Principal Building Setback*	20 ft. min. + Principal Building Setback*	20 ft. min. + Principal Building Setback	20 ft. min. + Principal Building Setback	NA	NA	NA
Front Setback (Secondary)	NA	20 ft. min. + Principal Building Setback*	20 ft. min. + Principal Building Setback*	10 ft. min.	0 ft. min.	NA	NA	NA
Side Setback	NA	**	**	5 ft. min.	0 ft. min.	NA	NA	NA
Rear Setback	NA	3 ft. min.	5 ft. min.; or 15 ft. min. from center line of Rear Lane	5 ft. min.; or 15 ft. min. from center line of Rear Lane	3 ft. min.; or 5 ft. min. if Garage faces Rear Lane or Rear Alley	NA	NA	NA

*Agricultural Accessory Buildings may be permitted in 1st Layer.

**Except for Agricultural Accessory Buildings, Accessory Buildings shall not be more than 50 ft. from a side Elevation of a Principal Building.

***As an entrance to Settlement



**AGRICOLA PUD
Master PUD Plan
Master PUD Site Plan
Primary Thoroughfares**






The primary Thoroughfares illustrated here represent the main corridors within the Project that connect each Settlement. These are anticipated to carry the majority of automobile and commuter bicycle traffic.

Existing site access points are shown as solid blue starbursts along US 17. Primary vehicular access to the Project shall be by way of Bellamy Road, to the south, substantially as shown here as "Bellamy Road (South)". Bellamy Road (South) will provide two points of emergency access via a median separated access connection to US 17. The final location of all access points is subject to the review of the Engineering/Public Works Department.

Clay County has expressed a strong desire for connectivity between neighboring Developments and has regulations in place to aid in that effort. The Agricola Property is open to connecting with cooperating neighborhoods and properties wherever possible to increase mobility and decrease congestion by dispersing local traffic. Open blue starbursts represent potential connection points to the Agricola Property in the future.

The Property will contain a network of additional secondary and tertiary Thoroughfares, which will be detailed at Final Development Plan submission.

Legend

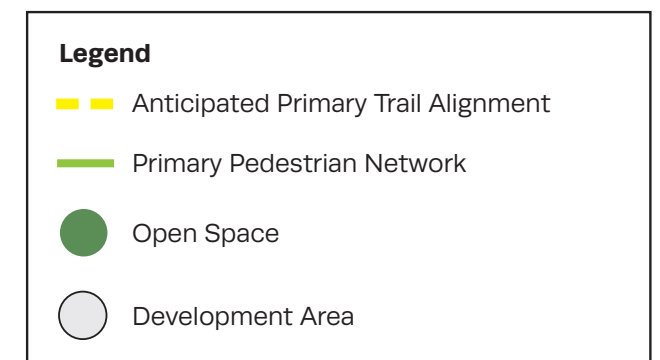
-  Site Access Point
-  Potential Future Access Points
-  Main Thoroughfare
-  Open Space
-  Development Area



**AGRICOLA PUD
Master PUD Plan
Master PUD Site Plan
Primary Pedestrian Network**

This diagram shows the Agricola Property's pedestrian network along the primary Thoroughfares. These Thoroughfares pass through many contexts, or Character Districts, throughout the site, so no one pedestrian accommodation can be assumed for the Thoroughfares shown here. Instead, a range of pedestrian accommodations will be applied to these Thoroughfares as required by the PUD Project Development Standards for each Character District.

The Agricola Property will contain a vast network of secondary and tertiary Thoroughfares. All other Thoroughfares will be detailed at Final Development Plan submission. The Agricola PUD's Master PUD Site Plan consists of a series of Settlements that are each oriented around a Standard Pedestrian Shed, meaning that from the center of each Settlement to the edge can largely be covered within a 5 minute walk. The clustering of Development over the majority of the site provides a series of walkable human scaled Settlements. As such, all Thoroughfares will be pedestrian oriented.



**AGRICOLA PUD
Master PUD Plan
Master PUD Site Plan
Primary Bicycle Network**

Primary roads will carry the majority of commuter bicycle and automobile traffic. This diagram shows the Agricola Property's bicycle network along the Project's primary Thoroughfares. These Thoroughfares pass through many contexts, or Character Districts, so no one bicycle accommodation can be assumed for the Thoroughfares shown here. Instead, a range of bicycle accommodations will be applied to these Thoroughfares as required by the PUD Project Development Standards for each Character District within this document.

All other Thoroughfares and bicycle accommodations will be detailed at Final Development Plan submission.



Illustration of street scene with bicycle accommodation.

Legend

- Primary Bicycle Network
- Open Space
- Development Area

V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

CFN # 2016024636, OR BK: 3859 PG: 1434, Pages 1 / 11, Recorded 5/20/2016 11:10 AM, Doc: D TARA S. GREEN Clerk Circuit Court, Clay County, FL Rec: \$95.00 Doc D: \$44,222.50 Deputy Clerk HAMPSHIRE T

BK: 3859 PG: 1435

Prepared By/Return To: Brandon C. Dodd, Esq. Smith, Gambrell & Russell, LLP 50 North Laura Street, Suite 2600 Jacksonville, Florida 32202

A portion of parcel ID #030726-015793-000-00

[Space Reserved for Official Use]

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made as of the 19th day of May, 2016, by FARM CREDIT OF FLORIDA, ACA, successor by merger to Farm Credit of North Florida, ACA, as agent/nominee for Florida Federal Land Bank Association, FLCA, successor by merger to Farm Credit of North Florida, FLCA, whose address is 11903 Southern Boulevard, Suite 200, West Palm Beach, Florida 33411 (the "Grantor"), to and in favor of SANDRICOURT FARMS, LLC, a Florida limited liability company, whose address is 914 Atlantic Avenue, Suite 2-A, Fernandina Beach, Florida 32034 (the "Grantee");

WITNESSETH:

THAT GRANTOR, for and in consideration of the sum of Ten and No/100 U.S. Dollars (\$10.00) and other good and valuable consideration, to it in hand paid by Grantee, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed unto Grantee, its heirs, successors, and assigns, that certain tract or parcel of land situate, lying and being in the County of Clay, State of Florida, as more particularly described on Exhibit "A" attached hereto (the "Property"), said Property being a portion of the lands conveyed to Grantor by deed recorded at OR Book 3773, page 1338, public records, Clay County, Florida;

TOGETHER WITH all tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same unto Grantee in fee simple forever.

AND Grantor hereby covenants with the Grantee that the Grantor has good right and lawful organizational authority to sell and convey said Property; that the Grantor hereby fully warrants the title to said Property and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor, but against none other; and that said land is free of all encumbrances made by, through or under Grantor, except for taxes and assessments for the year 2016 and subsequent years. Grantee acknowledges that the title commitment (as marked down at closing) lists certain permitted exceptions that encumber the Property. However, Grantor does not warrant title against such exceptions as none of them were made by, through or under Grantor. Additionally, there shall be no covenants or warranties implied under this deed with respect to Grantor's ownership to the Property.

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IN WITNESS WHEREOF, the Grantor has signed and sealed these presents as of the day and year first written above.

Signed, sealed, and delivered in the presence of:

GRANTOR:

FARM CREDIT OF FLORIDA, ACA

Name: Norjhe Bishop

By: Julius D. Davenport, Senior Vice President

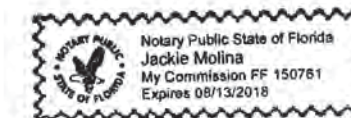
Name: John Sullivan

STATE OF FLORIDA COUNTY OF Palm Beach

The foregoing instrument was acknowledged before me under oath on this 17 day of May, 2016, by Julius D. Davenport, as Senior Vice President of Farm Credit of Florida, ACA, on behalf of the company, who is personally known to me or has provided as identification.

Print Jackie Molina State of Florida at Large My Commission expires:

[Notary Seal]



V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

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EXHIBIT "A"

Legal Description

Prepared April 14, 2016, Job No. H-16-040 by Mark E. Hardenbrook, professional land surveyor LS 5500.

DESCRIPTION LANDS SURVEYED:

A portion of Sections 3, 4, 9, 10, 11, 14, 15, 16, 21, 22 and 23, Township 7 South, Range 26 East, Clay County, Florida, being more particularly described as follows: BEGINNING at a 4-inch x 4-inch concrete monument stamped as Union Bag and Paper Corporation, (hereinafter referred to as UBPC monument) at the Northwest corner of said Section 4; thence North 89°08'05" East, along the Northerly line of said Section 4, a distance of 1309.30 feet to a UBPC monument; thence North 89°06'30" East, continuing along said Northerly line of Section 4, a distance of 1322.93 feet to a UBPC monument at the Northeast corner of the Northwest 1/4 of said Section 4; thence North 89°07'45" East, continuing along said Northerly line of Section 4, a distance of 655.51 feet to a UBPC monument; thence South 87°40'58" East, continuing along said Northerly line of Section 4, a distance of 660.96 feet to a UBPC monument with its intersection with the Southerly line of the Clarke Mill Grant, Section 37, Township 7 South, Range 26 East; thence South 71°58'29" East, along said Southerly line of Section 37 and continuing along said Northerly line of Section 4, a distance of 692.39 feet to a UBPC monument; thence South 72°00'10" East, a distance of 714.46 feet to a UBPC monument on the Northeast corner of said Section 4 and the Northwest corner of said Section 3 and a point hereinafter referred to as Reference Point "A"; thence South 71°54'46" East, continuing along the Southerly line of said Section 37, and along the Northerly line of said Section 3, a distance of 1454.13 feet to a UBPC monument at the East line of the West 1/2 of the Northwest 1/4 of said Section 3; thence South 00°15'51" East, along the East line of said West 1/2 of the Northwest 1/4, a distance of 1489.55 feet to a UBPC monument at the Southeast corner of said West 1/2 of the Northwest 1/4; thence North 89°42'42" East, along the North line of the Southwest 1/4 of said Section 3, a distance of 803.41 feet to the Northwest corner of lands described in Official Records Book 3367 on page 523 of the public records of said county; thence run South 00°17'18" East, along the west line of said lands 1301.31 feet to the southwesterly corner of said lands; thence run North 56°32'06" East, along the south line of said lands, 932.33 feet; thence run North 57°28'48" East, along said south line, 344.58 feet to the southeasterly corner of said lands and the southwesterly corner of lands described in Official Records Book 3429 on page 892 of said public records; thence run northeasterly along the southerly line of the aforesaid lands with a curve concave southeasterly having an arc length of 929.05 feet, a radius of 1872.56 feet and a chord bearing and distance of North 71°41'36" East, 919.55 feet to a point of compound curve; thence run Easterly, along said southerly line, with a curve concave southeasterly having an arc length of 134.59 feet, a radius of 575.00 feet and a chord bearing and distance of North

87°23'16" East, 134.29 feet to a point of reverse curve; thence continue Easterly along said Southerly line with a curve concave northerly, said curve having an arc length of 480.76 feet, a radius of 1357.11 feet and a chord bearing and distance of North 89°10'10" East, 478.25 feet to a point on the Westerly right of way line of U.S. Highway No. 17 (a 184 foot right of way as now established by the Florida Department of Transportation Right of Way Map Section 71010-2507); thence South 21°40'13" East, along said Westerly right of way line, 175.83 feet to an angle point in said right of way; thence South 21°44'15" East, along said Westerly right of way line, 174.59 feet to a UBPC monument at the intersection of said westerly right of way line with the North line of the S 1/2 of NE 1/4 of SE 1/4 of said Section 3; thence leave said right of way line and run South 89°45'18" West, along said North line, 1178.96 feet to a UBPC monument at the Northwest corner of the E 1/2 of the NW 1/4 of the SE 1/4 of said Section 3 and the northeasterly corner of lands described in Official Records Book 3363, page 489 of said public records; thence run along the northerly line of said lands and the northerly line of lands described in Official Records Book 3588, page 2102, of said public records with the following courses and distances: South 89°45'18" West, 90.45 feet; South 65°34'14" West, 146.34 feet; South 57°28'48" West, 248.54 feet; South 56°49'00" West, 1899.93 feet to a 1/2" Iron Rod at the northwesterly corner of said Official Records Book 3588, page 2102 and at the intersection of northerly prolongation of the East line of Block 28 of Walkill Gardens, as per plat thereof recorded in Plat Book 2 on Page 51 of the public records of said county; said Block 28 also referred to as the W 1/2 of SW 1/4 of SE 1/4 of SW 1/4 of said Section 3; thence run South 00°14'16" East, along said east line and said prolongation, a distance of 72.77 feet to a UBPC monument at the northeast corner of said W1/2 and a point hereinafter referred to as Reference Point "C"; thence run South 89°41'46" West, along the north line of said W 1/2 and along the north line of the E 1/2 of the SE 1/4 of the SW 1/4 of the SW 1/4 of said Section 3, a distance of 660.24 feet to a UBPC monument; thence run South 00°19'39" East, along the West line of said E 1/2, a distance of 660.08 feet to a UBPC monument; thence run North 89°47'51" East, along the south line of said E 1/2 and said W 1/2, a distance of 659.21 feet to a UBPC monument on West line of said Official Records Book 3588, page 2102; thence run South 00°14'16" East, along said west line, 662.84 feet to an Iron Rod at the southwest corner thereof; thence run North 89°48'33" East along the south line of said lands, 1021.03 feet to an Iron Rod on the west line of the NE 1/4 of said Section 10; thence run South 00°04'40" East, along said west line, 1308.61 feet to a UBPC monument; thence North 89°48'06" East, 665.65 feet to a UBPC monument; thence South 00°00'49" West, 1317.26 feet to a UBPC monument; thence South 00°11'52" West, 110.0 feet to an Iron Pipe at the Northeast corner of lands described in Official Records Book 3281, page 1681 of said public records; thence run along the north, west and southerly lines of said lands with the following courses and distances: South 89°51'14" West, 253.0 feet to an Iron Pipe; South 00°05'29" West, 820.49 feet to an Iron Pipe; South 81°44'19" East, 54.61 feet to an Iron Pipe; South 22°23'38" East, 35.0 feet to an Iron Pipe; South 41°51'20" West, 18.46 feet to an Iron Pipe; North 89°51'14" East, 197.86 feet to an Iron Pipe on the west line of the Northeast 1/4 of Southwest 1/4 of Southeast 1/4 of said Section 10; thence run South 00°05'19" East, along said west line, 335.58

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V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

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feet to a UBPC monument; thence North 89°46'35" East, 663.74 feet to a UBPC monument on the west line of lands described in Official Records Book 3241 on page 323 of said public records; thence run South 00°00'58" East, along said west line, 55.38 feet to an Iron Pipe at the southwest corner of said lands; thence run North 89°57'10" East, along the south line of said lands and along the south line of lands described in Official Records Book 3623, page 818 of said public records, a distance of 2652.66 feet to an Iron Pipe on the East line of the SW 1/4 of SW 1/4 of said Section 11 and the southeast corner of the aforesaid lands; thence South 00°12'05" West, along said East line, a distance of 607.54 feet to a UBPC monument at the Southeast corner thereof, said point also being the Northeast corner of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of said Section 14 and a point hereinafter referred to as Reference Point "D"; thence South 00°31'15" East, along the East line of said Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4, a distance of 660.28 feet to a UBPC monument at the Southeast corner thereof, the same being the Northeast corner of the Southeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of said Section 14 and a point hereinafter referred to as Reference Point "E"; thence North 89°50'43" West, along the North line of said Southeast 1/4 of the Northwest 1/4 of the Northwest 1/4, a distance of 662.98 feet to a UBPC monument at the Northwest corner thereof; thence South 00°19'29" East, along the West line of said Southeast 1/4 of the Northwest 1/4 of the Northwest 1/4, a distance of 659.09 feet to a found 1/2 inch iron pipe at the Southwest corner thereof; thence South 89°43'40" East, along the South line of said Southeast 1/4 of the Northwest 1/4 of the Northwest 1/4, a distance of 665.44 feet to a UBPC monument at the Southeast corner thereof; thence North 00°32'11" West, along the East line of said Southeast 1/4 of the Northwest 1/4 of Northwest 1/4, a distance of 660.47 feet to said Reference Point "E"; thence South 89°48'59" East, along the North line of the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of said Section 14, a distance of 832.79 feet to the Northwest corner of those certain lands described in deed recorded in Official Records Book 1800, Page 1656 of the Public Records of said County; thence South 00°31'11" East, along the West line of said last mentioned lands, 428.95 feet to the Southwest corner thereof; thence North 89°29'05" East, along the South line of said last mentioned lands, a distance of 491.94 feet to the Southeast corner thereof and a point situate on the East line of said South 1/2 of the Northeast 1/4 of the Northwest 1/4; thence South 00°34'18" East, along said last mentioned line, 237.04 feet to a UBPC monument at the Southeast corner thereof; thence South 89°49'58" East, along the North line of the Southwest 1/4 of the Northeast 1/4 of said Section 14, a distance of 272.64 feet to said Westerly right of way line of U.S. Highway No. 17, aforementioned; thence South 21°44'15" East, along said Westerly right of way line, 831.57 feet to an angle point in said right of way; thence South 21°45'13" East, continuing along said Westerly right of way line, 588.99 feet to the South line of said Southwest 1/4 of the Northeast 1/4 of Section 14; thence South 89°58'49" West, along said last mentioned line, 794.72 feet to a UBPC monument at the Northeast corner of the Northeast 1/4 of the Southwest 1/4 of said Section 14; being also the Northeast corner of lands described in Official Records Book 3174, Page 1255 of said public records and a point hereinafter referred to as Reference Point "F"; thence run North 89°51'36" West along the

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north line of said lands and the North line of said Northeast 1/4 of Southwest 1/4, a distance of 165.27 feet to an Iron Pipe at the northwest corner of said lands; thence run South 00°31'24" East, along the west line of said lands, 1317.84 feet to an Iron Pipe on the south line of said Northeast 1/4 of Southwest 1/4 and the southwest corner of said lands; thence North 89°52'29" West, along the South line of said Northeast 1/4 of the Southwest 1/4, a distance of 1149.54 feet to a UBPC monument at the Southwest corner thereof; thence South 00°30'44" East, along the East line of the West 1/2 of the Southwest 1/4 of said Section 14, a distance of 660.83 feet to a UBPC monument at the Northeast corner of the Southeast 1/4 of the Southwest 1/4 of the Southwest 1/4 of said Section 14; thence North 89°49'13" West, along the North line thereof, 663.63 feet to a UBPC monument at the Northwest corner thereof; thence South 00°34'41" East, along the West line of said Southeast 1/4 of the Southwest 1/4 of the Southwest 1/4, a distance of 661.44 feet to a UBPC monument at the Southwest corner thereof; thence South 89°53'36" East, along the South line thereof, the same being the North line of said Section 23, a distance of 662.86 feet to a UBPC monument at the Southeast corner of said Southeast 1/4 of the Southwest 1/4 of the Southwest 1/4; thence North 00°30'44" West, along the East line of said Southeast 1/4 of the Southwest 1/4 of the Southwest 1/4, a distance of 331.06 feet; thence South 89°48'23" East, along the North line of the South 1/2 of the South 1/2 of the Southeast 1/4 of the Southwest 1/4 of said Section 14, a distance of 1319.22 feet to a UBPC monument at the Northeast corner thereof; thence South 00°31'24" East, along the East line of said South 1/2 of the South 1/2 of the Southeast 1/4 of the Southwest 1/4, a distance of 329.99 feet to a UBPC monument at the Southeast corner thereof and a point situate on said North line of Section 23; thence South 89°44'11" East, along the North line of the West 1/2 of the Northeast 1/4 of said Section 23, a distance of 1325.25 feet to a UBPC monument at the Northeast corner thereof; thence South 00°01'05" East, along the East line of said West 1/2 of the Northeast 1/4, a distance of 2008.87 feet to the approximate centerline of Clarke's Creek; thence Westerly along said centerline run the following courses and distances: thence South 89°06'14" West, 592.80 feet; thence South 66°23'42" West, 193.75 feet; thence North 85°58'45" West, 219.01 feet; thence South 09°51'22" West, 164.04 feet; thence South 71°15'34" West, 142.98 feet; thence South 83°34'45" West, 193.82 feet; thence South 71°17'14" West, 250.39 feet; thence North 84°39'26" West, 331.85 feet; thence South 64°57'52" West, 310.58 feet; thence North 69°27'22" West, 154.75 feet; thence South 56°41'33" West, 241.55 feet; thence North 84°33'42" West, 185.28 feet; thence South 74°58'44" West, 304.87 feet; thence South 76°22'38" West, 18.53 feet to a point situate on the Northerly line of the Northwest 1/4 of the Southwest 1/4 of said Section 23, said point being situate North 89°38'50" West, 380.16 feet from a UBPC monument at the Northeast corner thereof; thence North 89°38'50" West, along said last mentioned line, 936.50 feet to a UBPC monument at the Northwest corner thereof and a point lying on the dividing line between said Sections 22 and 23; thence South 00°06'53" West, along said dividing line, 178.47 feet to said centerline of Clarke's Creek; thence Southwesterly along said centerline run the following courses and distances: thence North 88°54'44" West, 40.02 feet; thence South 32°44'42" West, 83.66 feet; thence North 59°01'46" West, 257.33 feet;

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V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

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thence South 81°35'12" West, 497.43 feet; thence South 49°55'29" West, 417.71 feet; thence South 57°58'40" West, 333.40 feet; thence South 76°03'28" West, 333.27 feet; thence South 41°48'55" West, 270.13 feet; thence North 66°49'52" West, 137.58 feet; thence South 25°24'05" West, 126.42 feet; thence North 89°44'55" West, 90.04 feet; thence South 40°53'02" West, 100.14 feet; thence South 61°03'54" West, 106.92 feet; thence South 82°46'41" West, 127.07 feet; thence South 65°09'30" West, 368.07 feet; thence South 47°58' 16" West, 70.44 feet to a point situate on the Northerly line of the Southeast 1/4 of the Southwest 1/4 of said Section 22, said point being situate North 89°53'34" West, a distance of 209.63 feet from a UBPC monument at the Northeast corner thereof; thence North 89°53'34" West, along said Northerly line, 1108.33 feet to a UBPC monument at the Northwest corner thereof and a point hereinafter referred to as Reference Point "G"; thence South 00°15'27" East, along the West line of said Southeast 1/4 of the Southwest 1/4, a distance of 137.00 feet to said centerline of Clarke's Creek; thence Westerly, Northwesterly and Westerly along said centerline, the following courses and distances: thence North 86°05'05" West, 37.31 feet; thence North 67°51'39" West, 164.21 feet; thence South 64°34'51" West, 274.08 feet; thence South 75°31'10" West, 140.84 feet; thence South 67°21'54" West, 168.11 feet; thence North 77°27'44" West, 228.28 feet; thence North 26°57'53" West, 207.29 feet; thence South 87°21'34" West, 182.67 feet; thence North 74°11'42" West, 284.59 feet; thence North 38°21'02" West, 601.45 feet; thence North 16°18'08" East, 138.62 feet; thence North 28°06'15" West, 136.75 feet; thence North 12°24'12" East, 147.61 feet; thence North 59°04'23" West, 163.91 feet; thence North 69°12'23" West, 138.43 feet; thence North 50°00'15" West, 161.27 feet; thence South 60°22'29" West, 106.66 feet; thence North 04°16'21" West, 119.90 feet; thence North 63°18'08" West, 380.40 feet; thence South 81°12'22" West, 118.78 feet; thence South 57°40'38" West, 103.94 feet; thence South 89°54'10" West, 112.61 feet; thence South 74°41'07" West, 79.09 feet; thence South 54°36'44" West, 135.33 feet; thence South 78°59'07" West, 234.79 feet; thence South 61°44'33" West, 137.81 feet; thence South 43°22'11" East, 48.54 feet; thence South 72°54'06" West, 62.15 feet; thence South 48°43'28" West, 94.86 feet; thence South 59°08'40" West, 137.63 feet to a point situate on the centerline of a 110 foot Florida Power and Light Company Easement as recorded in Official Records Book 511, Page 606 of said Public Records; thence North 00°59'31" West along said centerline of said 110 foot Easement, 8355.10 feet to a point situate on the North line of said Section 16 and the South line of said Section 9; thence South 89°53'27" East, along said dividing line, 586.45 feet to the Southeast corner of the Southwest 1/4 of the Southwest 1/4 of the Southeast 1/4 of said Section 9; thence North 00°27'56" West, along the East line thereof, 657.92 feet to a UBPC monument at the Northeast corner thereof; thence North 89°56'53" West, along the North line of said Southwest 1/4 of the Southwest 1/4 of the Southeast 1/4, a distance of 592.49 feet to the centerline of said 110 foot Florida Power and Light Company Easement; thence North 00°59'31" West, along said centerline, 1012.92 feet; thence North 23°15'42" West, continuing along said centerline, a distance of 2462.06 feet; thence South 53°37'46" West, 936.99 feet; thence South 48°57'18" West, 236.33 feet; thence South 46°34'46" West, 116.64 feet; thence South 41°32'36" West, 153.86 feet; thence South

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29°07'56" West, 199.85 feet; thence South 23°58'01" West, 527.22 feet; thence South 27°02'39" West, 149.23 feet; thence South 40°45'17" West, 161.99 feet; thence South 49°59'56" West, 180.20 feet to a point situate on the West line of said Section 9; thence North 00°34'54" West, along said Westerly line, 3221.32 feet to a UBPC monument at the Northwest corner thereof, the same being the Southwest corner of said Section 4; thence North 00°29'13" West, along the Westerly line of said Section 4, a distance of 4998.80 feet to the POINT OF BEGINNING.

LESS AND EXCEPT:

THE FOLLOWING DESCRIBED LANDS:

EXCEPTION 1 – (Official Records Book 245 – Page 289)

The Northwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 3, being more particularly described as follows: COMMENCING at the aforementioned Reference Point "A"; Thence South 00°09'07" East, along the West line of said Section 3, a distance of 727.75 feet to the Northwest corner of said Northwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 3, to the POINT OF BEGINNING of said exception; thence North 88°19'44" East, along the North line thereof, 669.05 feet to a UBPC monument at the Northeast corner thereof; thence South 00°34'48" East, along the East line thereof, 610.02 feet to the Southeast corner thereof; thence South 89°31'08" West, along the South line thereof, 673.38 feet to a UBPC monument at the Southwest corner thereof; thence North 00°09'07" West, along the West line thereof, 596.13 feet to the POINT OF BEGINNING

EXCEPTION 3 – (Official Records Book 1575 – Page 410)

Lots 4 through 21, inclusive, Block 21, Walkill Gardens, as recorded in Plat Book 2, at Page 51 of said Public Records, together with the South 1/2 of Walkill Drive lying Northerly thereof and the North 1/2 of Sixth Avenue, lying South thereof and being more particularly described as follows: COMMENCING at the aforementioned Reference Point "C"; thence North 00°10'41" West, 394.80 feet to a UBPC monument for a POINT OF BEGINNING; thence North 00°16'32" West, 264.13 feet to a UBPC monument in the centerline of said Walkill Drive; thence South 89°47'32" West, along said centerline, 224.60 feet to a UBPC monument; thence South 00°07'21" East, 264.13 feet to a UBPC monument in the centerline of said Sixth Avenue; thence North 89°47'32" East, along said centerline, 225.31 feet to the POINT OF BEGINNING.

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V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

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EXCEPTION 4 – (Official Records Book 169 – Page 609)

The Southwest 1/4 of the Southeast 1/4 of the Southwest 1/4 of said Section 10, Being more particularly described as follows: COMMENCE at the aforementioned Reference Point "D"; thence North 89°49'58" West, along the South line of said Section 11, a distance of 1326.39 feet to a UBPC monument at the Southwest corner thereof; thence South 89°55'06" West, along the South line of said Section 10, a distance of 3312.29 feet to a UBPC monument at the Southeast corner of said Southwest 1/4 of the Southeast 1/4 of the Southwest 1/4, of Section 10 for a POINT OF BEGINNING; thence South 89°59'57" West, along the South line thereof, 662.13 feet to the Southwest corner thereof; thence North 00°08'48" West, along the West line thereof, 657.19 feet to a UBPC monument at the Northwest corner thereof; thence North 89°53'33" East, along the North line thereof, 663.39 feet to the Northeast corner thereof; thence South 00°02'13" East, along the East line thereof, 658.42 feet to the POINT OF BEGINNING.

EXCEPTION 5

The South 1/2 of the Southwest 1/4 of the Northwest 1/4 and the North 1/4 of the Northwest 1/4 of the Southwest 1/4 of said Section 14; Being more particularly described as follows: COMMENCING at the aforementioned Reference Point "F"; thence North 89°50'56" West, along the South line of said Northwest 1/4 of Section 14, a distance of 1322.90 feet to the POINT OF BEGINNING of said exception; thence South 01°21'37" East, along the East line of said North 1/4 of the Northwest 1/4 of the Southwest 1/4, a distance of 328.01 feet to a UBPC monument at the Southeast corner thereof; thence North 89°55'35" West, along the South line thereof, 1326.93 feet to a UBPC monument at the Southwest corner thereof; thence North 00°38'55" West, along the West line thereof, 329.72 feet to the Northwest corner thereof, the same being the Southwest corner of said South 1/2 of the Southwest 1/4 of the Northwest 1/4; thence North 00°38'55" West, along the West line of said South 1/2 of the Southwest 1/4 of the Northwest 1/4, a distance of 660.12 feet to the Northwest corner thereof; thence South 89°54'19" East, along the North line thereof, 1329.44 feet to a UBPC monument at the Northeast corner thereof; thence South 00°04'45" East, along the East line thereof, 661.37 feet to the POINT OF BEGINNING.

EXCEPTION 6 – (Official Records Book 869 – Page 446)

A 1.0 acre tract of land in the Southeast corner of the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 22, Being more particularly described as follows: COMMENCING at the aforementioned Reference Point "G"; thence North 00°16'47" West, along the East line of the Northwest 1/4 of the Southwest 1/4 of said Section 22, a distance of 1326.15 feet to a UBPC monument at the Southeast corner of said Southwest 1/4 of the

Northwest 1/4 for a POINT OF BEGINNING; thence South 89°55'56" West, along the South line of said Southwest 1/4 of the Northwest 1/4, a distance of 209.06 feet to a UBPC monument; thence North 00°11'14" West, 210.92 feet to a UBPC monument; thence South 89°21'27" East, 209.13 feet to a UBPC monument; thence South 00°10'28" East, 208.32 feet to a UBPC monument and the POINT OF BEGINNING.

[END OF EXCEPTIONS]

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V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

BK: 3859 PG: 1444

CFN # 2017030903, OR BK: 3984 PG: 1365, Pages 1 / 8, Recorded 6/19/2017 8:02 AM, Doc: D
TARA S. GREEN Clerk Circuit Court, Clay County, FL Rec: \$69.50 Doc D: \$0.70
Deputy Clerk THACKERD

TOGETHER WITH

AN EASEMENT AND AGREEMENT FOR ROADWAY AS DESCRIBED IN OFFICIAL RECORDS BOOK 3420, PAGE 130 OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA.

Prepared By/Return To:
Brandon C. Dodd, Esq.
Smith, Gambrell & Russell, LLP
50 North Laura Street, Suite 2600
Jacksonville, Florida 32202

A portion of parcel ID #030726-015793-000-00

[Space Reserved for Official Use]

CORRECTIVE SPECIAL WARRANTY DEED

THIS CORRECTIVE SPECIAL WARRANTY DEED is made as of the 14th day of June, 2017, by **FARM CREDIT OF FLORIDA, ACA**, successor by merger to Farm Credit of North Florida, ACA, as agent/nominee for Florida Federal Land Bank Association, FLCA, successor by merger to Farm Credit of North Florida, FLCA, whose address is 11903 Southern Boulevard, Suite 200, West Palm Beach, Florida 33411 (the "Grantor"), to and in favor of **SANDRICOURT FARMS, LLC**, a Florida limited liability company, whose address is 914 Atlantic Avenue, Suite 2-A, Fernandina Beach, Florida 32034 (the "Grantee");

WITNESSETH:

THAT GRANTOR, for and in consideration of the sum of Ten and No/100 U.S. Dollars (\$10.00) and other good and valuable consideration, to it in hand paid by Grantee, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, sold and conveyed unto Grantee, its heirs, successors, and assigns, that certain tract or parcel of land situate, lying and being in the County of Clay, State of Florida, as more particularly described on Exhibit "A" attached hereto (the "Property"), said Property being a portion of the lands conveyed to Grantor by deed recorded at OR Book 3773, page 1338, public records, Clay County, Florida;

TOGETHER WITH all tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same unto Grantee in fee simple forever.

AND Grantor hereby covenants with the Grantee that the Grantor has good right and lawful organizational authority to sell and convey said Property; that the Grantor hereby fully warrants the title to said Property and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor, but against none other; and that said land is free of all encumbrances made by, through or under Grantor, except for taxes and assessments for the year 2017 and subsequent years. Grantee acknowledges that the title commitment (as marked down at closing) lists certain permitted exceptions that encumber the Property. However, Grantor does not warrant title against such exceptions as none of them were made by, through or under Grantor. Additionally, there shall be no covenants or warranties implied under this deed with respect to Grantor's ownership to the Property.

NOTE TO CLERK: This corrective deed is being recorded to correct an error in the legal description in the Special Warranty Deed recorded in Official Records Book 3859, Page 1434, of the public records of Clay County, Florida, in which certain language was omitted from the legal description. The omitted language has been added to this Corrective Special Warranty Deed and is shown as bold/underlined on page 3 hereof. Accordingly, only minimum documentary stamp tax is due hereon.

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V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

BK: 3984 PG: 1366

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IN WITNESS WHEREOF, the Grantor has signed and sealed these presents as of the day and year first written above.

Signed, sealed, and delivered in the presence of:

[Signature of John Sullivan]
Name: John Sullivan

[Signature of Norkelia Sturk]
Name: NORKELIA STURK

GRANTOR:
FARM CREDIT OF FLORIDA, ACA
By: Julius D. Davenport, Senior Vice President

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me under oath on this 14 day of June, 2017, by Julius D. Davenport, as Senior Vice President of Farm Credit of Florida, ACA, on behalf of the company, who is personally known to me or has provided as identification.

[Signature of Jackie Molina]
Print
State of Florida at Large
My Commission expires:

[Notary Seal]

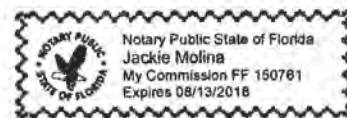


EXHIBIT "A"

DESCRIPTION LANDS SURVEYED:

A portion of Sections 3, 4, 9, 10, 11, 14, 15, 16, 21, 22 and 23, Township 7 South, Range 26 East, Clay County, Florida, being more particularly described as follows: BEGINNING at a 4-inch x 4-inch concrete monument stamped as Union Bag and Paper Corporation, (hereinafter referred to as UBPC monument) at the Northwest corner of said Section 4; thence North 89°08'05" East, along the Northerly line of said Section 4, a distance of 1309.30 feet to a UBPC monument; thence North 89°06'30" East, continuing along said Northerly line of Section 4, a distance of 1322.93 feet to a UBPC monument at the Northeast corner of the Northwest 1/4 of said Section 4; thence North 89°07'45" East, continuing along said Northerly line of Section 4, a distance of 655.51 feet to a UBPC monument; thence South 87°40'58" East, continuing along said Northerly line of Section 4, a distance of 660.96 feet to a UBPC monument with its intersection with the Southerly line of the Clarke Mill Grant, Section 37, Township 7 South, Range 26 East; thence South 71°58'29" East, along said Southerly line of Section 37 and continuing along said Northerly line of Section 4, a distance of 692.39 feet to a UBPC monument; thence South 72°00'10" East, a distance of 714.46 feet to a UBPC monument on the Northeast corner of said Section 4 and the Northwest corner of said Section 3 and a point hereinafter referred to as Reference Point "A"; thence South 71°54'46" East, continuing along the Southerly line of said Section 37, and along the Northerly line of said Section 3, a distance of 1454.13 feet to a UBPC monument at the East line of the West 1/2 of the Northwest 1/4 of said Section 3; thence South 00°15'51" East, along the East line of said West 1/2 of the Northwest 1/4, a distance of 1489.55 feet to a UBPC monument at the Southeast corner of said West 1/2 of the Northwest 1/4; thence North 89°42'42" East, along the North line of the Southwest 1/4 of said Section 3, a distance of 803.41 feet to the Northwest corner of lands described in Official Records Book 3367 on page 523 of the public records of said county; thence run South 00°17'18" East, along the west line of said lands 1301.31 feet to the southwesterly corner of said lands; thence run North 56°32'06" East, along the south line of said lands, 932.33 feet; thence run North 57°28'48" East, along said south line, 344.58 feet to the southeasterly corner of said lands and the southwesterly corner of lands described in Official Records Book 3429 on page 892 of said public records; thence run northeasterly along the southerly line of the aforesaid lands with a curve concave southeasterly having an arc length of 929.05 feet, a radius of 1872.56 feet and a chord bearing and distance of North 71°41'36" East, 919.55 feet to a point of compound curve; thence run Easterly, along said southerly line, with a curve concave southeasterly having an arc length of 134.59 feet, a radius of 575.00 feet and a chord bearing and distance of North 87°23'16" East, 134.29 feet to a point of reverse curve; thence continue Easterly along said Southerly line with a curve concave northerly, said curve having an arc length of 480.76 feet, a radius of 1357.11 feet and a chord bearing and distance of North 89°10'10" East, 478.25 feet to a point on the Westerly right of way line of U.S. Highway No. 17 (a 184 foot right of way as now established by the Florida Department of Transportation Right of Way Map Section 71010-2507); thence South 21°40'13" East, along said Westerly right of way line, 175.83 feet to an angle point in said right of way; thence South 21°44'15" East, along said Westerly right of way line, 174.59 feet to a UBPC monument at the intersection of said westerly right of way line with the North line of the S 1/2 of NE 1/4 of SE 1/4 of said Section 3; thence leave said right of way line and run South 89°45'18" West, along said North line, 1178.96 feet to a UBPC monument at the Northwest corner of the E 1/2 of the SE 1/4 of the NW 1/4 of the SE 1/4 of said Section 3 and the northeasterly corner of lands described in Official Records Book 3363, page 489 of said public records; thence run along the northerly line of said lands and the northerly line of lands described in Official Records Book 3588, page 2102, of said public records with the following courses and distances: South 89°45'18" West, 90.45 feet; South 65°34'14" West, 146.34 feet; South 57°28'48" West, 248.54 feet; South 56°49'00" West, 1899.93 feet to a 1/2" Iron Rod at the northwesterly corner of said Official Records Book 3588, page 2102 and at the intersection of northerly prolongation of the East line of Block 28 of Walkill Gardens, as per plat thereof recorded in Plat Book 2.

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V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

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on Page 51 of the public records of said county; said Block 28 also referred to as the W 1/2 of SW 1/4 of SE 1/4 of SW 1/4 of said Section 3; thence run South 00°14'16" East, along said east line and said prolongation, a distance of 72.77 feet to a UBPC monument at the northeast corner of said W1/2 and a point hereinafter referred to as Reference Point "C"; thence run South 89°41'46" West, along the north line of said W 1/2 and along the north line of the E 1/2 of the SE 1/4 of the SW 1/4 of said Section 3, a distance of 660.24 feet to a UBPC monument; thence run South 00°19'39" East, along the West line of said E 1/2, a distance of 660.08 feet to a UBPC monument; thence run North 89°47'51" East, along the south line of said E 1/2 and said W 1/2, a distance of 659.21 feet to a UBPC monument on West line of said Official Records Book 3588, page 2102; thence run South 00°14'16" East, along said west line, 662.84 feet to an Iron Rod at the southwest corner thereof; thence run North 89°48'33" East along the south line of said lands, 1021.03 feet to an Iron Rod on the west line of the NE 1/4 of said Section 10; thence run South 00°04'40" East, along said west line, 1308.61 feet to a UBPC monument; thence North 89°48'06" East, 665.65 feet to a UBPC monument; thence South 00°00'49" West, 1317.26 feet to a UBPC monument; thence South 00°11'52" West, 110.0 feet to an Iron Pipe at the Northeast corner of lands described in Official Records Book 3281, page 1681 of said public records; thence run along the north, west and southerly lines of said lands with the following courses and distances: South 89°51'14" West, 253.0 feet to an Iron Pipe; South 00°05'29" West, 820.49 feet to an Iron Pipe; South 81°44'19" East, 54.61 feet to an Iron Pipe; South 22°23'38" East, 35.0 feet to an Iron Pipe; South 41°51'20" West, 18.46 feet to an Iron Pipe; North 89°51'14" East, 197.86 feet to an Iron Pipe on the west line of the Northeast 1/4 of Southwest 1/4 of Southeast 1/4 of said Section 10; thence run South 00°05'19" East, along said west line, 335.58 feet to a UBPC monument; thence North 89°46'35" East, 663.74 feet to a UBPC monument on the west line of lands described in Official Records Book 3241 on page 323 of said public records; thence run South 00°00'58" East, along said west line, 55.38 feet to an Iron Pipe at the southwest corner of said lands; thence run North 89°57'10" East, along the south line of said lands and along the south line of lands described in Official Records Book 3623, page 818 of said public records, a distance of 2652.66 feet to an Iron Pipe on the East line of the SW 1/4 of SW 1/4 of said Section 11 and the southeast corner of the aforesaid lands; thence South 00°12'05" West, along said East line, a distance of 607.54 feet to a UBPC monument at the Southeast corner thereof, said point also being the Northeast corner of the Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of said Section 14 and a point hereinafter referred to as Reference Point "D"; thence South 00°31'15" East, along the East line of said Northeast 1/4 of the Northwest 1/4 of the Northwest 1/4, a distance of 660.28 feet to a UBPC monument at the Southeast corner thereof, the same being the Northeast corner of the Southeast 1/4 of the Northwest 1/4 of the Northwest 1/4 of said Section 14 and a point hereinafter referred to as Reference Point "E"; thence North 89°50'43" West, along the North line of said Southeast 1/4 of the Northwest 1/4 of the Northwest 1/4, a distance of 662.98 feet to a UBPC monument at the Northwest corner thereof; thence South 00°19'29" East, along the West line of said Southeast 1/4 of the Northwest 1/4 of the Northwest 1/4, a distance of 659.09 feet to a found 1/2 inch iron pipe at the Southwest corner thereof; thence South 89°43'40" East, along the South line of said Southeast 1/4 of the Northwest 1/4 of the Northwest 1/4, a distance of 665.44 feet to a UBPC monument at the Southeast corner thereof; thence North 00°32'11" West, along the East line of said Southeast 1/4 of the Northwest 1/4 of Northwest 1/4, a distance of 660.47 feet to said Reference Point "E"; thence South 89°48'59" East, along the North line of the South 1/2 of the Northeast 1/4 of the Northwest 1/4 of said Section 14, a distance of 832.79 feet to the Northwest corner of those certain lands described in deed recorded in Official Records Book 1800, Page 1656 of the Public Records of said County; thence South 00°31'11" East, along the West line of said last mentioned lands, 428.95 feet to the Southwest corner thereof; thence North 89°29'05" East, along the South line of said last mentioned lands, a distance of 491.94 feet to the Southeast corner thereof and a point situate on the East line of said South 1/2 of the Northeast 1/4 of the Northwest 1/4; thence South 00°34'18" East, along said last mentioned line, 237.04 feet to a UBPC monument at the Southeast corner thereof; thence South 89°49'58" East, along the North line of the Southwest 1/4 of the Northeast 1/4 of said Section 14, a distance of 272.64 feet to said Westerly right of way line of U.S. Highway No. 17, aforementioned; thence South 21°44'15" East, along said Westerly right of way line, 831.57 feet to an

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angle point in said right of way; thence South 21°45'13" East, continuing along said Westerly right of way line, 588.99 feet to the South line of said Southwest 1/4 of the Northeast 1/4 of Section 14; thence South 89°58'49" West, along said last mentioned line, 794.72 feet to a UBPC monument at the Northeast corner of the Northeast 1/4 of the Southwest 1/4 of said Section 14; being also the Northeast corner of lands described in Official Records Book 3174, Page 1255 of said public records and a point hereinafter referred to as Reference Point "F"; thence run North 89°51'36" West along the north line of said lands and the North line of said Northeast 1/4 of Southwest 1/4, a distance of 165.27 feet to an Iron Pipe at the northwest corner of said lands; thence run South 00°31'24" East, along the west line of said lands, 1317.84 feet to an Iron Pipe on the south line of said Northeast 1/4 of Southwest 1/4 and the southwest corner of said lands; thence North 89°52'29" West, along the South line of said Northeast 1/4 of the Southwest 1/4, a distance of 1149.54 feet to a UBPC monument at the Southwest corner thereof; thence South 00°30'44" East, along the East line of the West 1/2 of the Southwest 1/4 of said Section 14, a distance of 660.83 feet to a UBPC monument at the Northeast corner of the Southeast 1/4 of the Southwest 1/4 of the Southwest 1/4 of said Section 14; thence North 89°49'13" West, along the North line thereof, 663.63 feet to a UBPC monument at the Northwest corner thereof; thence South 00°34'41" East, along the West line of said Southeast 1/4 of the Southwest 1/4 of the Southwest 1/4, a distance of 661.44 feet to a UBPC monument at the Southwest corner thereof; thence South 89°53'36" East, along the South line thereof, the same being the North line of said Section 23, a distance of 662.86 feet to a UBPC monument at the Southeast corner of said Southeast 1/4 of the Southwest 1/4 of the Southwest 1/4; thence North 00°30'44" West, along the East line of said Southeast 1/4 of the Southwest 1/4 of the Southwest 1/4, a distance of 331.06 feet; thence South 89°48'23" East, along the North line of the South 1/2 of the South 1/2 of the Southeast 1/4 of the Southwest 1/4 of said Section 14, a distance of 1319.22 feet to a UBPC monument at the Southeast corner thereof; thence South 00°31'24" East, along the East line of said South 1/2 of the South 1/2 of the Southeast 1/4 of the Southwest 1/4, a distance of 329.99 feet to a UBPC monument at the Southeast corner thereof and a point situate on said North line of Section 23; thence South 89°44'11" East, along the North line of the West 1/2 of the Northeast 1/4 of said Section 23, a distance of 1325.25 feet to a UBPC monument at the Northeast corner thereof; thence South 00°01'05" East, along the East line of said West 1/2 of the Northeast 1/4, a distance of 2008.87 feet to the approximate centerline of Clarke's Creek; thence Westerly along said centerline run the following courses and distances: thence South 89°06'14" West, 592.80 feet; thence South 66°23'42" West, 193.75 feet; thence North 85°58'45" West, 219.01 feet; thence South 09°51'22" West, 164.04 feet; thence South 71°15'34" West, 142.98 feet; thence South 83°34'45" West, 193.82 feet; thence South 71°17'14" West, 250.39 feet; thence North 84°39'26" West, 331.85 feet; thence South 64°57'52" West, 310.58 feet; thence North 69°27'22" West, 154.75 feet; thence South 56°41'33" West, 241.55 feet; thence North 84°33'42" West, 185.28 feet; thence South 74°58'44" West, 304.87 feet; thence South 76°22'38" West, 18.53 feet to a point situate on the Northerly line of the Northwest 1/4 of the Southwest 1/4 of said Section 23, said point being situate North 89°38'50" West, 380.16 feet from a UBPC monument at the Northeast corner thereof; thence North 89°38'50" West, along said last mentioned line, 936.50 feet to a UBPC monument at the Northwest corner thereof and a point lying on the dividing line between said Sections 22 and 23; thence South 00°06'53" West, along said dividing line, 178.47 feet to said centerline of Clarke's Creek; thence Southwesterly along said centerline run the following courses and distances: thence North 88°54'44" West, 40.02 feet; thence South 32°44'42" West, 83.66 feet; thence North 59°01'46" West, 257.33 feet; thence South 81°35'12" West, 497.43 feet; thence South 49°55'29" West, 417.71 feet; thence South 57°58'40" West, 333.40 feet; thence South 76°03'28" West, 333.27 feet; thence South 41°48'55" West, 270.13 feet; thence North 66°49'52" West, 137.58 feet; thence South 25°24'05" West, 126.42 feet; thence North 89°44'55" West, 90.04 feet; thence South 40°53'02" West, 100.14 feet; thence South 61°03'54" West, 106.92 feet; thence South 82°46'41" West, 127.07 feet; thence South 65°09'30" West, 368.07 feet; thence South 47°58'16" West, 70.44 feet to a point situate on the Northerly line of the Southeast 1/4 of the Southwest 1/4 of said Section 22, said point being situate North 89°53'34" West, a distance of 209.63 feet from a UBPC monument at the Northeast corner thereof; thence North 89°53'34" West, along said Northerly line, 1108.33 feet to a UBPC monument at the Northwest corner thereof and a

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V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

BK: 3984 PG: 1370

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point hereinafter referred to as Reference Point "G"; thence South 00°15'27" East, along the West line of said Southeast 1/4 of the Southwest 1/4, a distance of 137.00 feet to said centerline of Clarke's Creek; thence Westerly, Northwesterly and Westerly along said centerline, the following courses and distances: thence North 86°05'05" West, 37.31 feet; thence North 67°51'39" West, 164.21 feet; thence South 64°34'51" West, 274.08 feet; thence South 75°31'10" West, 140.84 feet; thence South 67°21'54" West, 168.11 feet; thence North 77°27'44" West, 228.28 feet; thence North 26°57'53" West, 207.29 feet; thence South 87°21'34" West, 182.67 feet; thence North 74°11'42" West, 284.59 feet; thence North 38°21'02" West, 601.45 feet; thence North 16°18'08" East, 138.62 feet; thence North 28°06'15" West, 136.75 feet; thence North 12°24'12" East, 147.61 feet; thence North 59°04'23" West, 163.91 feet; thence North 69°12'23" West, 138.43 feet; thence North 50°00'15" West, 161.27 feet; thence South 60°22'29" West, 106.66 feet; thence North 04°16'21" West, 119.90 feet; thence North 63°18'08" West, 380.40 feet; thence South 81°12'22" West, 118.78 feet; thence South 57°40'38" West, 103.94 feet; thence South 89°54'10" West, 112.61 feet; thence South 74°41'07" West, 79.09 feet; thence South 54°36'44" West, 135.33 feet; thence South 78°59'07" West, 234.79 feet; thence South 61°44'33" West, 137.81 feet; thence South 43°22'11" East, 48.54 feet; thence South 72°54'06" West, 62.15 feet; thence South 48°43'28" West, 94.86 feet; thence South 59°08'40" West, 137.63 feet to a point situate on the centerline of a 110 foot Florida Power and Light Company Easement as recorded in Official Records Book 511, Page 606 of said Public Records; thence North 00°59'31" West along said centerline of said 110 foot Easement, 8355.10 feet to a point situate on the North line of said Section 16 and the South line of said Section 9; thence South 89°53'27" East, along said dividing line, 586.45 feet to the Southeast corner of the Southwest 1/4 of the Southwest 1/4 of the Southeast 1/4 of said Section 9; thence North 00°27'56" West, along the East line thereof, 657.92 feet to a UBPC monument at the Northeast corner thereof; thence North 89°56'53" West, along the North line of said Southwest 1/4 of the Southwest 1/4 of the Southeast 1/4, a distance of 592.49 feet to the centerline of said 110 foot Florida Power and Light Company Easement; thence North 00°59'31" West, along said centerline, 1012.92 feet; thence North 23°15'42" West, continuing along said centerline, a distance of 2462.06 feet; thence South 53°37'46" West, 936.99 feet; thence South 48°57'18" West, 236.33 feet; thence South 46°34'46" West, 116.64 feet; thence South 41°32'36" West, 153.86 feet; thence South 29°07'56" West, 199.85 feet; thence South 23°58'01" West, 527.22 feet; thence South 27°02'39" West, 149.23 feet; thence South 40°45'17" West, 161.99 feet; thence South 49°59'56" West, 180.20 feet to a point situate on the West line of said Section 9; thence North 00°34'54" West, along said Westerly line, 3221.32 feet to a UBPC monument at the Northwest corner thereof, the same being the Southwest corner of said Section 4; thence North 00°29'13" West, along the Westerly line of said Section 4, a distance of 4998.80 feet to the POINT OF BEGINNING.

LESS AND EXCEPT:

THE FOLLOWING DESCRIBED LANDS:

EXCEPTION NO. 1 – (Official Records Book 245 – Page 289)

The Northwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 3, being more particularly described as follows: COMMENCING at the aforementioned Reference Point "A"; Thence South 00°09'07" East, along the West line of said Section 3, a distance of 727.75 feet to the Northwest corner of said Northwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 3, to the POINT OF BEGINNING of said exception; thence North 88°19'44" East, along the North line thereof, 669.05 feet to a UBPC monument at the Northeast corner thereof; thence South 00°34'48" East, along the East line thereof, 610.02 feet to the Southeast corner thereof; thence South 89°31'08" West, along the South line thereof, 673.38 feet to a UBPC monument at the Southwest corner thereof; thence North 00°09'07" West, along the West line thereof, 596.13 feet to the POINT OF BEGINNING

EXCEPTION NO. 3 – (Official Records Book 1575 – Page 410)

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Lots 4 through 21, inclusive, Block 21, Walkill Gardens, as recorded in Plat Book 2, at Page 51 of said Public Records, together with the South 1/2 of Walkill Drive lying Northerly thereof and the North 1/2 of Sixth Avenue, lying South thereof and being more particularly described as follows: COMMENCING at the aforementioned Reference Point "C"; thence North 00°10'41" West, 394.80 feet to a UBPC monument for a POINT OF BEGINNING; thence North 00°16'32" West, 264.13 feet to a UBPC monument in the centerline of said Walkill Drive; thence South 89°47'32" West, along said centerline, 224.60 feet to a UBPC monument; thence South 00°07'21" East, 264.13 feet to a UBPC monument in the centerline of said Sixth Avenue; thence North 89°47'32" East, along said centerline, 225.31 feet to the POINT OF BEGINNING.

EXCEPTION NO. 4 – (Official Records Book 169 – Page 609)

The Southwest 1/4 of the Southeast 1/4 of the Southwest 1/4 of said Section 10, Being more particularly described as follows: COMMENCE at the aforementioned Reference Point "D"; thence North 89°49'58" West, along the South line of said Section 11, a distance of 1326.39 feet to a UBPC monument at the Southwest corner thereof; thence South 89°55'06" West, along the South line of said Section 10, a distance of 3312.29 feet to a UBPC monument at the Southeast corner of said Southwest 1/4 of the Southeast 1/4 of the Southwest 1/4, of Section 10 for a POINT OF BEGINNING; thence South 89°59'57" West, along the South line thereof, 662.13 feet to the Southwest corner thereof; thence North 00°08'48" West, along the West line thereof, 657.19 feet to a UBPC monument at the Northwest corner thereof; thence North 89°53'33" East, along the North line thereof, 663.39 feet to the Northeast corner thereof; thence South 00°02'13" East, along the East line thereof, 658.42 feet to the POINT OF BEGINNING.

EXCEPTION NO. 5

The South 1/2 of the Southwest 1/4 of the Northwest 1/4 and the North 1/4 of the Northwest 1/4 of the Southwest 1/4 of said Section 14; Being more particularly described as follows: COMMENCING at the aforementioned Reference Point "F"; thence North 89°50'56" West, along the South line of said Northwest 1/4 of Section 14, a distance of 1322.90 feet to the POINT OF BEGINNING of said exception; thence South 01°21'37" East, along the East line of said North 1/4 of the Northwest 1/4 of the Southwest 1/4, a distance of 328.01 feet to a UBPC monument at the Southeast corner thereof; thence North 89°55'35" West, along the South line thereof, 1326.93 feet to a UBPC monument at the Southwest corner thereof; thence North 00°38'55" West, along the West line thereof, 329.72 feet to the Northwest corner thereof, the same being the Southwest corner of said South 1/2 of the Southwest 1/4 of the Northwest 1/4; thence North 00°38'55" West, along the West line of said South 1/2 of the Southwest 1/4 of the Northwest 1/4, a distance of 660.12 feet to the Northwest corner thereof; thence South 89°54'19" East, along the North line thereof, 1329.44 feet to a UBPC monument at the Northeast corner thereof; thence South 00°04'45" East, along the East line thereof, 661.37 feet to the POINT OF BEGINNING.

EXCEPTION NO. 6 – (Official Records Book 869 – Page 446)

A 1.0 acre tract of land in the Southeast corner of the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 22, Being more particularly described as follows: COMMENCING at the aforementioned Reference Point "G"; thence North 00°16'47" West, along the East line of the Northwest 1/4 of the Southwest 1/4 of said Section 22, a distance of 1326.15 feet to a UBPC monument at the Southeast corner of said Southwest 1/4 of the Northwest 1/4 for a POINT OF BEGINNING; thence South 89°55'56" West, along the South line of said Southwest 1/4 of the Northwest 1/4, a distance of 209.06 feet to a UBPC monument; thence North 00°11'14" West, 210.92 feet to a UBPC monument; thence South 89°21'27" East, 209.13 feet to a UBPC monument; thence South 00°10'28" East, 208.32 feet to a UBPC monument and the POINT OF BEGINNING.

7

SGR/16222211.1

V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

BK: 3984 PG: 1372

CFN # 2018055657, OR BK: 4134 PG: 1421, Pages 1 / 4, Recorded 10/23/2018 12:58 PM, Doc: D
TARA S. GREEN Clerk Circuit Court, Clay County, FL Rec: \$35.50 Doc D: \$6,764.80
Deputy Clerk HAMPSHIRET

TOGETHER WITH:

AN EASEMENT AND AGREEMENT FOR ROADWAY AS DESCRIBED IN OFFICIAL RECORDS
BOOK 3420, PAGE 130 OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA.

This instrument prepared by and return to:
Austin J. Drago, Esq.
Rogers Towers, P.A.
1301 Riverplace Boulevard, Suite 1500
Jacksonville, Florida 32207

Parcel I.D. Nos.: 31-06-26-015646-000-00; 32-06-26-015651-000-00; and 32-06-26-015650-000-00;
and parts of 31-06-26-015646-002-00, 08-07-26-015827-001-00; and 05-07-26-015819-000-00.

CL 16-41/7155836

(Space Reserved for Clerk of Court)

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made and effective this 19 day of October, 2018, by **GUSTAFSON'S FAMILY ENTERPRISES, INC.**, a Florida corporation ("**Grantor**"), whose mailing address is P.O. Box 600337, Jacksonville, FL 32260-0337 to **SANDRICOURT FARMS, LLC**, a Florida limited liability company ("**Grantee**"), whose mailing address is 960194 Gateway Boulevard, Suite 103, Fernandina Beach, FL 32034-9119. Wherever used herein, the terms "**Grantor**" and "**Grantee**" shall include all of the parties to this instrument and their heirs, personal representatives, successors and assigns.

WITNESSETH:

GRANTOR, for and in consideration of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained and sold, and by these presents does hereby grant, bargain and sell to Grantee and Grantee's successors and/or assigns in fee simple forever, the following described land situate and being in Clay County, Florida ("**Property**"), to wit:

SEE ATTACHED EXHIBIT "A".

TOGETHER WITH all existing improvements thereon, all tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

THIS CONVEYANCE is subject to: (a) taxes and assessments for 2018 and subsequent years which are not yet due and payable; (b) sovereignty rights or other rights of the State of Florida or the United States of America with respect to any waters within the exterior boundaries of the Property, if any; (c) mineral and/or mining rights of record, if any, provided that this reference shall not operate to re-impose same; and (d) covenants, conditions, restrictions, rights of way, and easements of record, if any, provided that this reference shall not operate to re-impose same.

TO HAVE and to hold the same in fee simple forever.

GRANTOR hereby covenants with Grantee that Grantor has good right and lawful authority to sell and convey the Property; and that, except as stated above, the Property is free from all encumbrances made by Grantor; and Grantor does hereby fully warrant and will defend the title to the Property and will defend the same against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

GRANTOR hereby warrants that the Property is not all or substantially all Grantor's assets.

SGR/16222211 1

V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

BK: 4134 PG: 1422

BK: 4134 PG: 1423

IN WITNESS WHEREOF, Grantor has hereunto set its hand and seal as of the day and year first above written.

Signed, sealed and delivered
in the presence of (witnesses):

Sign: <u><i>William P. Brant</i></u> Print: <u>William P. Brant</u>	GRANTOR: GUSTAFSON'S FAMILY ENTERPRISES, INC., a Florida corporation
Sign: <u><i>Kim McGough</i></u> Print: <u>Kim McGough</u>	By: <u><i>E.S. Gustafson, Jr.</i></u> E.S. Gustafson, Jr. Its President {Corporate Seal}

STATE OF Florida; COUNTY OF clay) SS.

The foregoing instrument was acknowledged before me this 19 day of October, 2018, by **E.S. Gustafson, Jr.**, the President of **Gustafson's Family Enterprises, Inc.**, a Florida corporation, on behalf of said company. **E.S. Gustafson, Jr.** [check one]:

is personally known to me; OR
 produced a current FLDL driver's license as identification.

[NOTARIAL SEAL]



Shawn K. Middleton
 State of Florida
 My Commission Expires 06/30/2022
 Commission No. GG 204766

Notary: *Shawn K. Middleton*
 Print Name: Shawn K. Middleton
 Notary Public, State of Florida
 My commission expires: 06/30/2022

Exhibit "A"

Legal Description of the Property

All that tract or parcel of land lying, being, and situated in the County of CLAY, State of FLORIDA, as more particularly described below:

PARCEL "A"

A PORTION OF SECTIONS 31 AND 32, TOWNSHIP 6 SOUTH, RANGE 26 EAST, A PORTION OF SECTION 5, TOWNSHIP 7 SOUTH, RANGE 26 EAST, AND A PORTION OF THE NORTH ONE-HALF OF SECTION 8, TOWNSHIP 7 SOUTH, RANGE 26 EAST, ALL BEING WITHIN CLAY COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FOR A POINT OF BEGINNING, COMMENCE AT A FOUND 4" SQUARE CONCRETE MONUMENT AT THE NORTHEAST CORNER OF SAID SECTION 31, SAID POINT ALSO BEING THE NORTHWEST CORNER OF SAID SECTION 32; THENCE NORTH 89°58'33" EAST, ALONG THE NORTH LINE OF SAID SECTION 32, A DISTANCE OF 1183.42 FEET TO A SET 1/2" IRON PIPE, LABELED LB6628; THENCE DEPARTING FROM SAID NORTH LINE OF SAID SECTION 32, THE FOLLOWING NINE COURSES ALONG THE WEST LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3069, PAGE 1098; THENCE SOUTH 33°50'09" EAST, A DISTANCE OF 471.39 FEET; THENCE SOUTH 34°18'28" WEST, A DISTANCE OF 326.40 FEET; THENCE SOUTH 66°45'02" WEST, A DISTANCE OF 12.08 FEET; THENCE SOUTH 24°31'12" EAST, A DISTANCE OF 1280.38 FEET; THENCE SOUTH 29°47'23" EAST, A DISTANCE OF 579.85 FEET; THENCE SOUTH 19°01'35" WEST, A DISTANCE OF 393.45 FEET; THENCE SOUTH 23°23'26" EAST, A DISTANCE OF 1097.20 FEET; THENCE SOUTH 29°22'05" EAST, A DISTANCE OF 837.86 FEET; THENCE SOUTH 18°53'29" EAST, A DISTANCE OF 888.53 FEET TO A POINT; SAID POINT ALSO LYING ON THE NORTH LINE OF THE AFOREMENTIONED SECTION 5, TOWNSHIP 7 SOUTH, RANGE 26 EAST; THENCE NORTH 89°44'11" EAST, ALONG SAID NORTH LINE OF SECTION 5, A DISTANCE OF 2230.19 FEET TO THE NORTHEAST CORNER OF SAID SECTION 5, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF SAID SECTION 32, SAID POINT ALSO BEING A FOUND LIGHT-WOOD POST; THENCE SOUTH 00°07'18" EAST, ALONG THE EAST LINE OF SAID SECTION 5, A DISTANCE OF 2499.92 FEET TO A SET 1/2" IRON PIPE LABELED LB6628; THENCE NORTH 89°34'08" WEST, DEPARTING FROM SAID EAST LINE OF SECTION 5 AND ALONG THE NORTH LINE OF LANDS AS DESCRIBED IN OFFICIAL RECORDS BOOK 1256, PAGE 236, A DISTANCE OF 670.80 FEET TO A SET 1/2" IRON PIPE LABELED LB6628; THENCE SOUTH 00° 06'34" EAST AND ALONG THE WEST LINE OF LANDS AS DESCRIBED IN OFFICIAL RECORDS BOOK 1256, PAGE 236, A DISTANCE OF 622.95 FEET; THENCE SOUTH 89°23'44" EAST AND ALONG THE SOUTH LINE OF LANDS AS DESCRIBED IN OFFICIAL RECORDS BOOK 1256, PAGE 236, A DISTANCE OF 670.95 FEET TO A SET 1/2" IRON PIPE LABELED LB6628, SAID POINT ALSO LYING ON SAID EAST LINE OF SECTION 5; THENCE SOUTH 00°07'18" EAST, ALONG SAID EAST LINE OF SECTION 5, A DISTANCE OF 1874.94 FEET TO THE SOUTHEAST CORNER OF SAID

V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

BK: 4134 PG: 1424

CFN # 2020012741, OR BK: 4286 PG: 2146, Pages 1 / 2, Recorded 3/9/2020 11:41 AM, Doc: D
TARA S. GREEN Clerk Circuit Court, Clay County, FL Rec: \$18.50 Doc D: \$63.00
Deputy Clerk HAMPSHIRET

SECTION 5, SAID POINT ALSO BEING THE NORTHEAST CORNER OF SAID SECTION 8, TOWNSHIP 7 SOUTH, RANGE 26 EAST, SAID POINT ALSO BEING A FOUND 4" SQUARE CONCRETE MONUMENT, LABELED SSS3624; THENCE SOUTH 00°13'13" EAST, ALONG THE EAST LINE OF SAID SECTION 8, A DISTANCE OF 2616.74 FEET TO A FOUND 4" SQUARE CONCRETE MONUMENT, LABELED SSS3624; THENCE NORTH 89°19'54" WEST ALONG THE SOUTH LINE OF THE NORTH ONE-HALF OF SAID SECTION 8, DEPARTING FROM SAID EAST LINE OF SECTION 8, A DISTANCE OF 1789.67 FEET TO A SET 1/2" IRON PIPE LABELED LB6628; THENCE NORTH 22°17'30" WEST, A DISTANCE OF 7323.43 FEET; THENCE NORTH 44°51'36" WEST, A DISTANCE OF 2316.49 FEET; THENCE NORTH 19°00'49" WEST, A DISTANCE OF 1354.45 FEET TO A FOUND 1/2" IRON PIPE LABELED LB6628; THENCE SOUTH 90°00'00" EAST, A DISTANCE OF 1281.73 FEET TO A FOUND 1/2" IRON PIPE LABELED LB6628; THENCE CONTINUE SOUTH 90°00'00" EAST, A DISTANCE OF 300.19 FEET TO A FOUND 1/2" IRON PIPE, LABELED LB6628; THENCE NORTH 00°36'52" EAST, A DISTANCE OF 1847.23 FEET TO A FOUND 1/2" IRON PIPE, LABELED LB6628; THENCE NORTH 24°36'34" EAST, A DISTANCE OF 208.87 FEET TO A FOUND 1/2" IRON PIPE, LABELED LB6628; THENCE NORTH 00°00'00" EAST, A DISTANCE OF 395.74 FEET TO A FOUND 1/2" IRON PIPE, LABELED LB6628; THENCE NORTH 29°37'30" WEST, A DISTANCE OF 756.26 FEET TO A FOUND 1/2" IRON PIPE, LABELED LB6628; THENCE NORTH 89°46'57" WEST, A DISTANCE OF 1341.65 FEET TO A SET 1/2" IRON PIPE, LABELED LB6628; THENCE NORTH 00°05'34" EAST, A DISTANCE OF 80.00 FEET TO A SET 1/2" IRON PIPE, LABELED LB6628, SAID POINT ALSO LYING ON THE NORTH LINE OF SAID SECTION 31, TOWNSHIP 6 SOUTH, RANGE 26 EAST, ACCORDING TO BARTRAM TRAIL SURVEYING; THENCE SOUTH 89°46'57" EAST, ALONG SAID NORTH LINE OF SECTION 31, A DISTANCE OF 1342.38 FEET TO THE POINT OF BEGINNING.

JAX2675968_2
JAX_ACTIVE 4058300.2

Prepared by:
Jonathan Bolick
Watson Title Services of North FL, Inc.
3951 Baymeadows Road
Jacksonville, Florida 32217

File Number: 2000131

General Warranty Deed

Made this 25 day of February, 2020 A.D. By **Richard P. Ellinger, Jr., A Married Man**, whose post office address is: 15001 Native Dancer Road, North Potomac, Maryland 20878, hereinafter called the grantor, to **Sandricourt Farms, LLC, A Florida Limited Liability Company**, whose post office address is: 960194 Gateway Boulevard, Suite 103, Fernandina Beach, Florida 32034, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of \$9,000.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Clay County, Florida, viz:

That tract of land being the Southwest Quarter (SW1/4) of the Southeast Quarter (SE 1/4) of the Southwest (SW1/4) of Section 10, Township 7 South, Range 26 East.

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Parcel ID Number: **100726-015836-000-00**

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2019.

DEED Individual Warranty Deed With Non-Homestead-Legal on Face

V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

BK: 4286 PG: 2147

CFN # 2021006580, OR BK: 4410 PG: 1427, Pages 1 / 3, Recorded 2/2/2021 10:03 AM, Doc: D
TARA S. GREEN Clerk of Court and Comptroller, Clay County, FL Rec: \$27.00 Doc D: \$210.00
Deputy Clerk BASKINJ

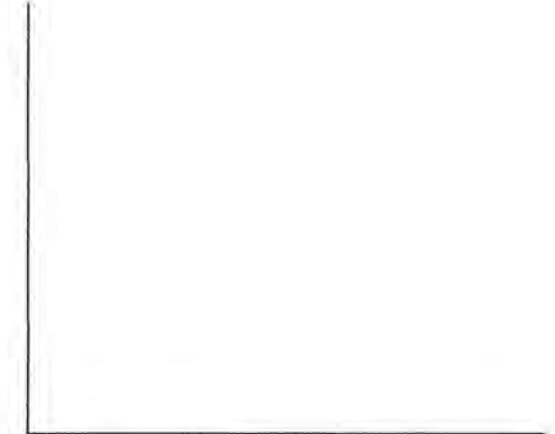
Prepared by:
Jonathan Bolick
Watson Title Services of North FL, Inc.
3951 Baymeadows Road
Jacksonville, Florida 32217

File Number: 2000131

This Instrument Prepared by:
Freehold Title, LLC
309 1/2 Centre Street, Suite 207
Fernandina Beach, FL 32034

After Recording Return to:
Sandricourt Farms, LLC

Parcel Identification Number:
14-07-26-015889-000-00



(Space Above This Line For Recording Data)

Special Warranty Deed

THIS SPECIAL WARRANTY DEED (this "Deed") is made as of this 1st day of February, 2021 between **George W. Brew, a married man**, whose mailing address is 1530 Belfry Dr., Venice, FL 34292, and **Kristin D. Bushman, a married woman**, whose mailing address is 5893 Huff Mountain Ave., Las Vegas, NV 89131 ("Grantor") to, **Sandricourt Farms, LLC, a Florida Limited Liability Company** whose mailing address is 960194 Gateway Blvd., Suite 103, Fernandina Beach, FL 32034 ("Grantee").

WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00), and other good and valuable consideration paid to Grantor by Grantee, the receipt of which is hereby acknowledged, by these presents does grant, bargain, sell and convey to Grantee, and Grantee's successors and assigns forever, all the right, title, and interest in and to that certain real property (the "Property") located and situated in Clay County, Florida and fully described as follows:

The SE ¼ of the NW ¼ of NW ¼ of Section 14, Township 7 South, Range 26 East, Clay County, Florida.

Grantor warrants that at the time of this conveyance, the subject property is not the Grantors' homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property. The residence and homestead address for George W. Brew is 1530 Belfry Dr., Venice, FL 34292. The residence and homestead address for Kristin D. Bushman is 5893 Huff Mountain Ave., Las Vegas, NV 89131.

SUBJECT to taxes for 2021 and subsequent years, covenants, restrictions, easements, reservations and limitations of record, if any, without intention of creation or reimposing same.

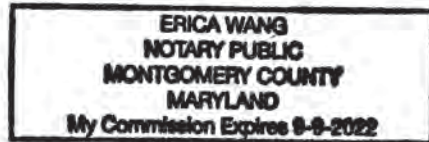
In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Printed Name Erica Wang

[Signature] (Seal)
Richard P. Ellinger, Jr.
Address: 15001 Native Dancer Road, North Potomac, Maryland 20878

[Signature]
Witness Printed Name Yasoa Hadjajipo
State of Maryland
County of Montgomery



The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 25th day of February, 2020, by Richard P. Ellinger, Jr., A Married Man, who is/are personally known to me or who has produced MD Drivers License as identification.

[Signature]
Notary Public
Print Name: Erica Wang
My Commission Expires: 9/9/22

V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

BK: 4410 PG: 1428

BK: 4410 PG: 1429

TOGETHER with all improvements, easements, tenements, hereditaments and appurtenances belonging to or in any way appertaining to the Property.

TO HAVE AND TO HOLD the same in fee simple forever.

GRANTOR hereby specially warrants the title to the Property and will defend the same against the lawful claims of all persons claiming by, through, or under Grantor, but none other.

IN WITNESS WHEREOF, Grantor has duly executed this instrument as of the date first written above.

WITNESSES:

GRANTOR:

Witness signature: Deborah Salagon
WITNESS
PRINT NAME: Deborah Salagon

Grantor signature: George W. Brew
George W. Brew

Witness signature: Amy Bistritz
WITNESS
PRINT NAME: Amy Bistritz

STATE OF FLORIDA
COUNTY OF ~~NASSAU~~ SARASOTA

The foregoing instrument was acknowledged before me by means of () physical presence or () online notarization this 29 day of January, 2021, by George W. Brew.

Notary signature: Barbara Ann Fager
Signature of Notary Public
Print, Type/Stamp Name of Notary



Personally Known: [checked] OR Produced Identification:
Type of Identification
Produced:

Witness signature: Christy Gibson
WITNESS
PRINT NAME: Christy Gibson
Witness signature: Gerardo Ortega
WITNESS
PRINT NAME: Gerardo Ortega

Witness signature: Kristin D. Bushman
Kristin D. Bushman

STATE OF ~~FLORIDA~~ NV
COUNTY OF ~~NASSAU~~ CLARK

The foregoing instrument was acknowledged before me by means of () physical presence or () online notarization this 28 day of Jan, 2021, by Kristin D. Bushman.

Notary signature: Gerardo Ortega
Signature of Notary Public
Print, Type/Stamp Name of Notary Gerardo Ortega



Personally Known: OR Produced Identification: NVDL
Type of Identification
Produced: NVDL 1401800394 12/28/2026

V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

CFN # 2022028208, OR BK: 4603 PG: 911, Pages 1 / 3, Recorded 5/3/2022 1:28 PM, Doc: D
TARA S. GREEN Clerk of Court and Comptroller, Clay County, FL Rec: \$27.00 Doc D: \$1,610.00
Deputy Clerk HAMPSHIRET

BK: 4603 PG: 912

Prepared by:
Head, Moix, Fulton & Griffin, P.A.
Alexandra B. Griffin, Esq.
1530 Business Center Drive, Suite 4
Pleasanton, Florida 32003

Warranty Deed

THIS INDENTURE, made this 2nd day of May, 2022 A.D., between Charlie Hunt and Mary Hunt, husband and wife, whose address is 848 Arthur Moore Dr., Green Cove Springs, FL 32043, Grantor, and Sandricourt Farms, LLC, a Florida limited liability company whose address is: 960194 Gateway Blvd, Suite 103, Fernandina Beach, FL 32034-9119, Grantee,

WITNESSETH, that the said Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), to it in hand paid by the said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee forever, the following described land, situate, lying and being in the County of Clay, State of Florida, to wit:

See Exhibit "A"

Subject to taxes for the current year, covenants, restrictions and easements of record, if any.

Parcel ID Number: 14-07-26-015884-000-00

And the said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

Signatures on Following Page

In Witness Whereof, the said Grantor has caused this instrument to be executed in its name by its duly authorized officer and caused its corporate seal to be affixed the day and year first above written.

Signed and Sealed in Our Presence:

Witness No. 1

Witness Sign Name: ABC
Witness Print Name: ABC

Charlie Hunt
Charlie Hunt

Witness No. 2

Witness Sign Name: Mary
Witness Print Name: Mary Hunt

Mary L. Hunt
Mary Hunt

State of Florida
County of Clay

The foregoing instrument was sworn to, subscribed and acknowledged before me by means of physical presence or online notarization on this May 2, 2022, by Charlie Hunt and Mary Hunt.

They are personally known to me or have produced Yield as identification.

(Affix Notary Stamp)

Notary Sign Name: ABC
Notary Print Name: _____
Notary Public, State of Florida
Notary Commission Expires: _____
Notary Commission Number: _____



V. REZONING APPLICATION FORM - ATTACHMENT C - DEEDS

BK: 4603 PG: 913

Exhibit "A"

THAT PART OF S1/2 OF N1/2 OF NE1/4; LYING WEST OF HIGHWAY IN SECTION 14, TOWNSHIP 7 SOUTH, RANGE 26 EAST IN CLAY COUNTY, FLORIDA

BEING THE SAME LANDS DESCRIBED AS FOLLOWS:

BEGIN AT A CONCRETE MONUMENT IDENTIFIED "UBPC" AT THE SOUTHWEST CORNER OF THE N 1/2 OF THE NE 1/4 OF SECTION 14, TOWNSHIP 7 SOUTH, RANGE 26 EAST AND RUN N 00 DEG 34 MIN 41 SEC W, ALONG THE WEST LINE OF SAID NE 1/4, A DISTANCE OF 660.14 FEET TO AN IRON PIPE NOT IDENTIFIED AT THE NORTHWEST CORNER OF THE S 1/2 OF SAID N 1/2 OF THE NE 1/4; THENCE RUN S 89 DEG 48 MIN 59 SEC E, ALONG THE NORTH LINE OF SAID S 1/2, A DISTANCE OF 15.72 FEET TO THE WESTERLY RIGHT OF WAY LINE OF US HIGHWAY 17; THENCE RUN S 21 DEG 44 MIN 56 SEC E, ALONG SAID RIGHT OF WAY LINE, 534.74 FEET TO AN IRON ROD IDENTIFIED "PSM5500" ON THE NORTHERLY LINE OF LENO ROAD, A COUNTY MAINTAINED RIGHT OF WAY AND HEREINAFTER REFERRED TO AS "POINT A"; THENCE CONTINUE S 21 DEG 44 MIN 56 SEC E, ALONG SAID WESTERLY RIGHT OF WAY LINE, 43.10 FEET TO AN IRON ROD IDENTIFIED "PSM5500" ON THE SOUTHERLY LINE OF SAID COUNTY MAINTAINED RIGHT OF WAY; THENCE CONTINUE S 21 DEG 44 MIN 56 SEC E, ALONG SAID WESTERLY RIGHT OF WAY LINE, 133.54 FEET TO AN IRON ROD IDENTIFIED "PSM5500" ON THE SOUTH LINE OF SAID N 1/2 OF THE NE 1/4; THENCE RUN N 89 DEG 51 MIN 23 SEC W, ALONG SAID SOUTH LINE, 179.23 FEET TO AN IRON ROD IDENTIFIED "PSM5500" ON THE SOUTHERLY LINE OF SAID COUNTY MAINTAINED RIGHT OF WAY; THENCE CONTINUE N 89 DEG 51 MIN 23 SEC W, 57.84 FEET TO AN IRON ROD IDENTIFIED "PSM5500" ON THE NORTHERLY LINE OF SAID COUNTY MAINTAINED RIGHT OF WAY; THENCE CONTINUE N 89 DEG 51 MIN 23 SEC W, 35.58 FEET TO THE POINT OF BEGINNING;

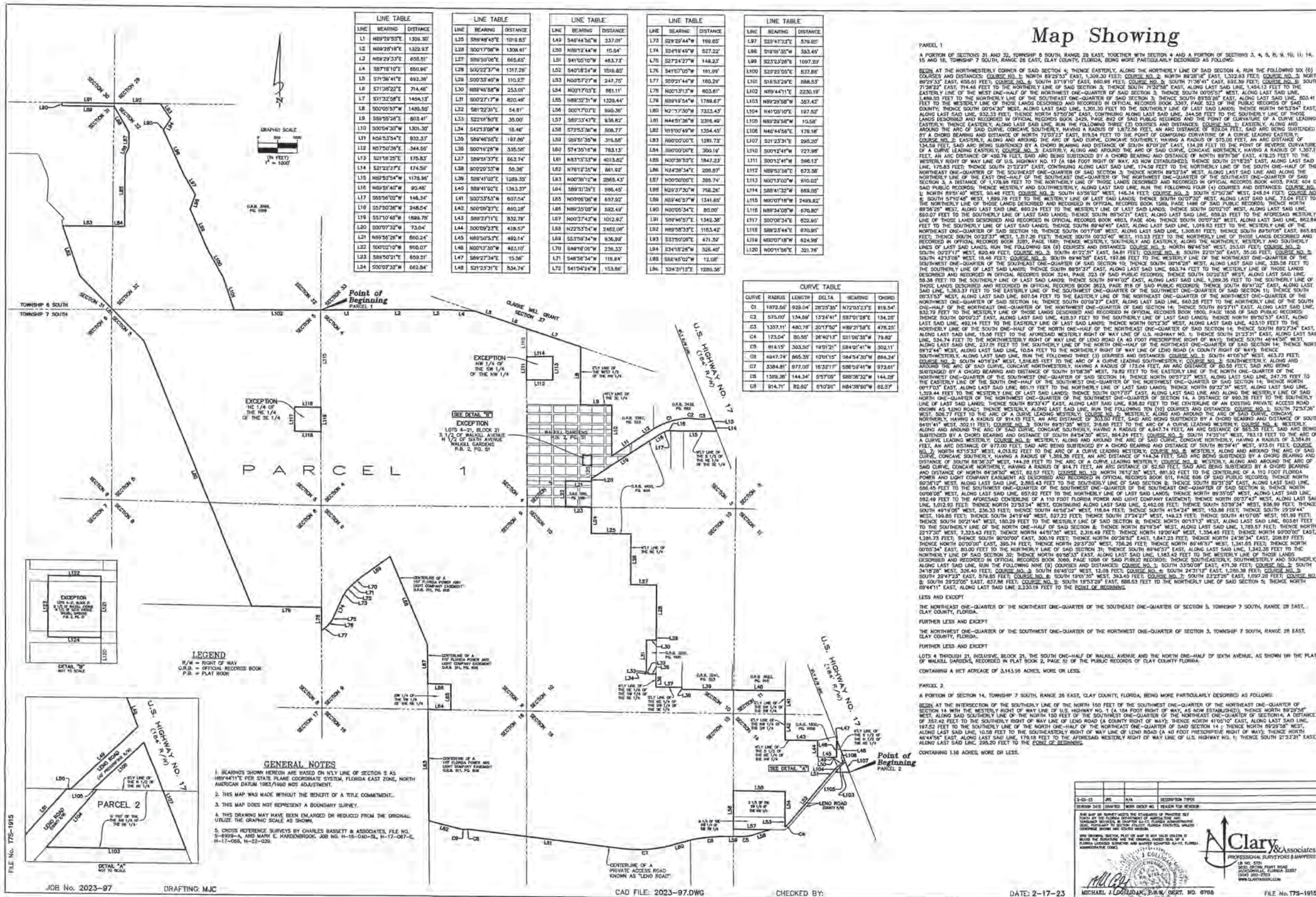
LESS AND EXCEPT:

THAT PORTION OF THE ABOVE DESCRIBED LANDS LYING WITHIN THE MAINTAINED LIMITS OF "LENO ROAD, A COUNTY RIGHT OF WAY AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE ABOVE DESCRIBED "POINT A" AND RUN S 21 DEG 44 MIN 56 SEC E, ALONG THE WESTERLY RIGHT OF WAY LINE OF US HIGHWAY 17, A DISTANCE OF 43.10 FEET TO AN IRON ROD IDENTIFIED "PSM5500" ON THE SOUTHERLY LINE OF SAID COUNTY MAINTAINED RIGHT OF WAY; THENCE RUN S 46 DEG 23 MIN 31 SEC W, ALONG SAID MAINTAINED RIGHT OF WAY LINE, 179.18 FEET TO AN IRON ROD IDENTIFIED "PSM5500" ON THE SOUTH LINE OF SAID N 1/2 OF THE NE 1/4; THENCE RUN N 89 DEG 51 MIN 23 SEC W, ALONG SAID SOUTH LINE, 57.84 FEET TO AN IRON ROD IDENTIFIED "PSM5500" ON THE NORTHERLY LINE OF SAID COUNTY MAINTAINED RIGHT OF WAY; THENCE RUN N 46 DEG 23 MIN 31 SEC E, ALONG SAID NORTHERLY LINE, 237.01 FEET TO THE POINT OF BEGINNING

V. REZONING APPLICATION FORM - ATTACHMENT D - BOUNDARY SURVEY OF PUD PROPERTY

Map Showing



END OF REGULATORY VOLUME

BEGINING OF EXPLANATORY VOLUME



THE
AGRICOLA
PROPERTY

**PUD REZONING
APPLICATION
& MASTER PUD
PLAN**

EXPLANATORY
Document

For Submittal September 1, 2023



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INTRODUCTION TO EXPLANATORY VOLUME

Sandricourt Farms LLC (the “Owner” or the “Applicant”) is submitting a PUD Rezoning Application (the “PUD Rezoning Application”), requesting that the Applicant’s property, which is generally described on Page E6 hereof (the “PUD Property” or the “Property”) be rezoned from Agriculture (AG) and Agriculture Residential (AR) to PUD Planned Unit Development and the development of the PUD Property be approved pursuant to this PUD Rezoning Application.

This PUD Rezoning Application is being submitted contemporaneously with a separate Comprehensive Plan Amendment Application (the “Comprehensive Plan Amendment Application”), pursuant to which the Applicant is requesting that the Clay County Comprehensive Plan be amended by changing the future land use designation of the PUD Property from Agriculture (AG), Rural Residential (RR), Industrial (IND), Conservation (CO), and Commercial (COM) to Planned Community (PC) and by including the PUD Property within the Urban Service Area boundary.

The PUD Rezoning Application is being provided in two volumes, this Explanatory Volume (this “Explanatory Volume”), and a Regulatory Volume (the “Regulatory Volume”).

The Regulatory Volume includes items required for the PUD Rezoning Application under Clay County Land Development Code Section 3-33 (Planned Unit Development [Zone PUD]), as well as development standards for the Project.

This Explanatory Volume is conceptual and is being provided to assist in gaining an understanding of Agricola Project described the PUD Rezoning Application (the “Agricola Project” or the “Project”), and is not intended to be, nor shall it be, binding on the Property, the Project, or development within the PUD.

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PROJECT TEAM



OWNER/APPLICANT

Christophe Agricola
Shield Properties, Inc.
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RESIDENTIAL MARKET ANALYSIS

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Clinton, NJ 08809
(908) 735-6336
todd@ZVA.cc



SUSTAINABLE STORMWATER

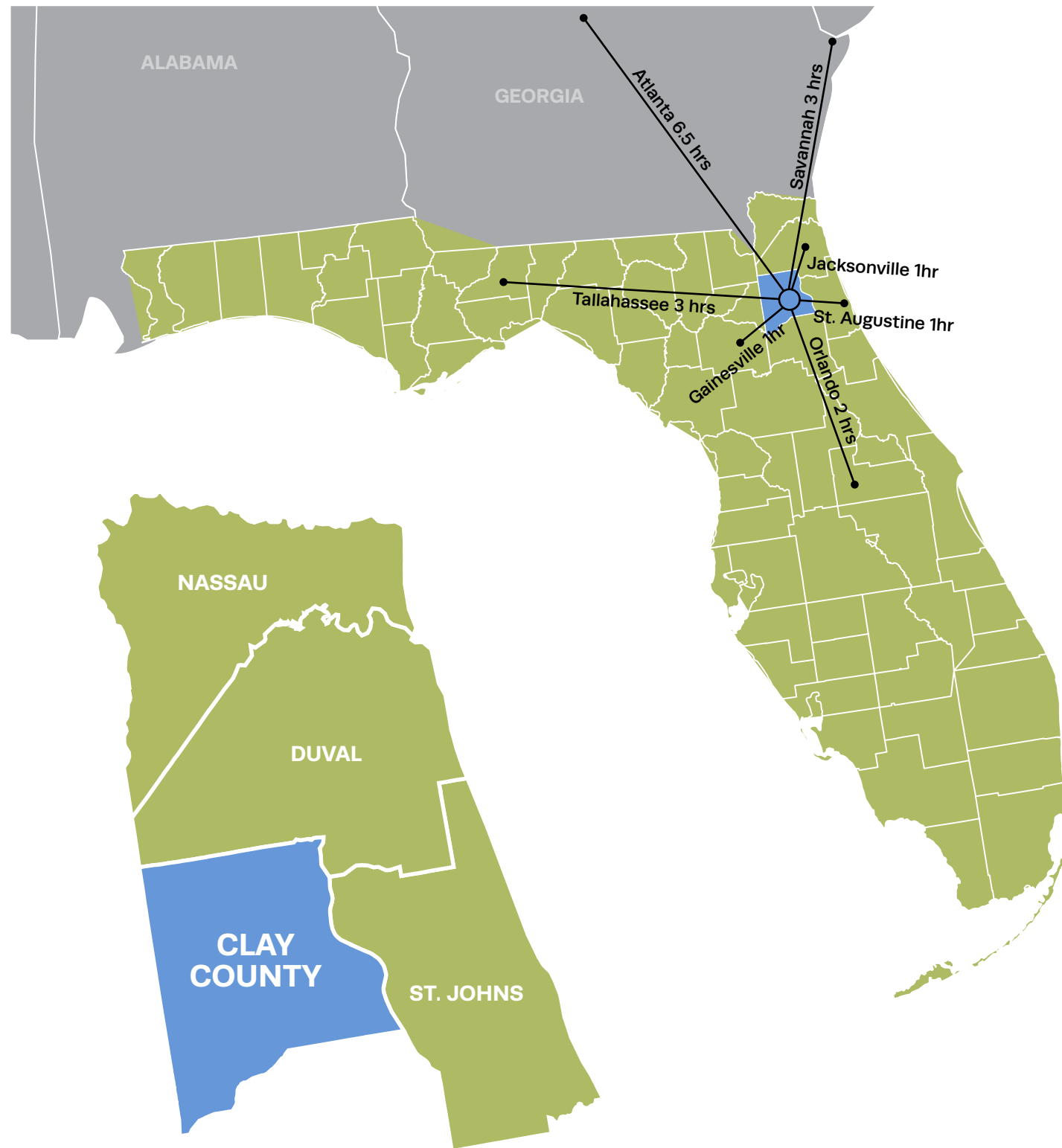
Jon Ford
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55 Dorrance Street
Suite 200
Providence, RI 02903
(401) 272-1717
jford@horsleywitten.com



Part 01

SITE INTRODUCTION

REGIONAL CONTEXT



Site Location

The Agricola Property is comprised of 3,145 acres in Clay County, Florida which has been experiencing growth due to investment in the First Coast Expressway that will more directly connect the quickly growing Jacksonville metro area to St. Augustine and surrounding counties.

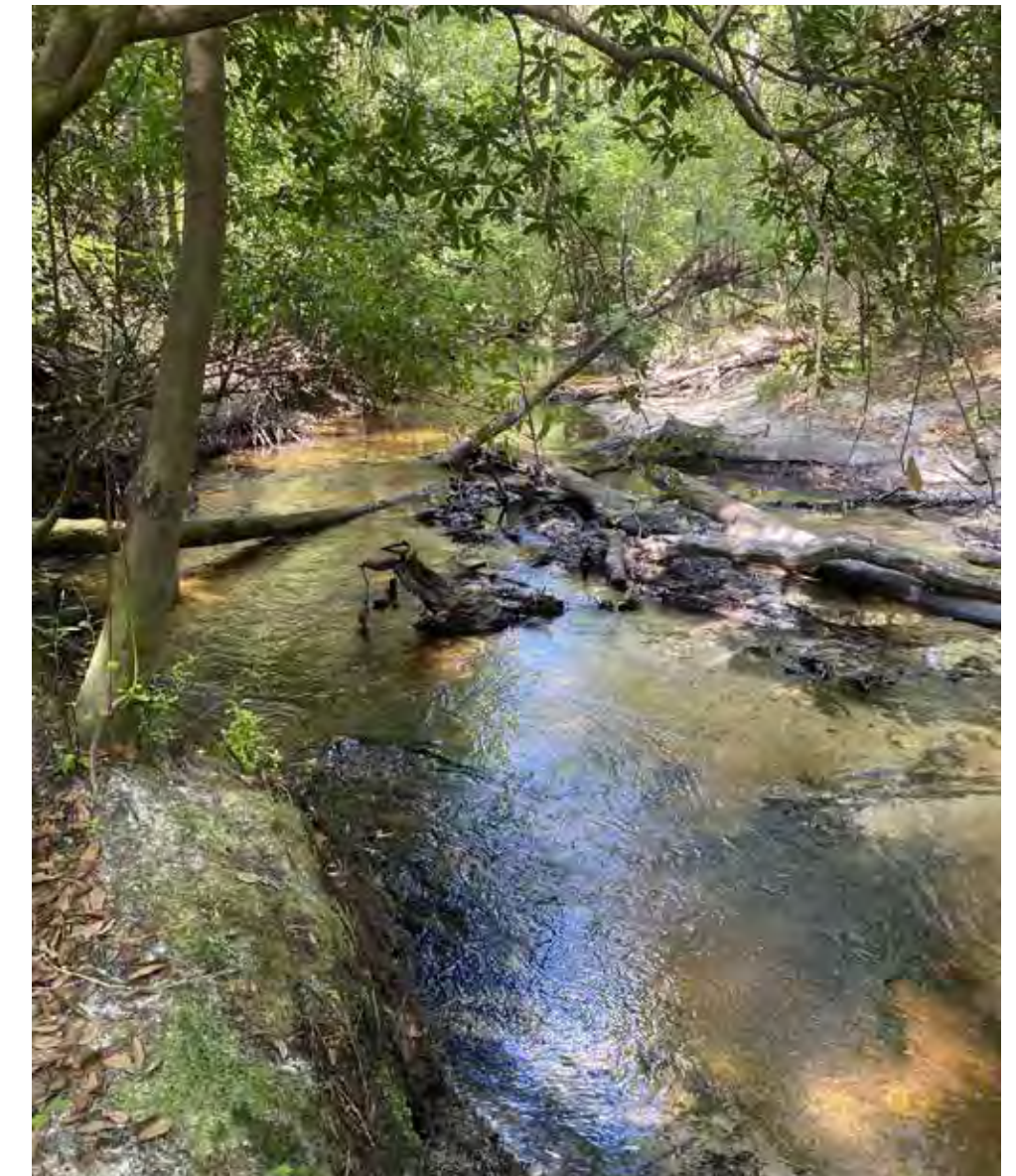
Located at the intersection of US Highway 17 and Bellamy Road, the site is a ten-minute drive from Green Cove Springs, a quaint community with a rich history. It is also adjacent to the 9,702-acre Bayard Conservation Area, which provides opportunities for horseback riding, hunting, fishing, hiking, and camping within its vast preserve along nearly seven miles of St. Johns River bank. The site is conveniently located just under one hour from Jacksonville and St. Augustine. It is also just over an hour to get to Gainesville and the University of Florida.

GUIDING PRINCIPLES



Leave a Legacy

As lifelong Floridians and longtime Clay County landowners, the Agricola Family has observed the region's growth and development for over 100 years, often resulting in the loss of landscape, culture, and character. Over this same period, communities across Northern Florida have fallen one by one to the slow creep of Suburban Sprawl. The Agricola Property is presently comprised of cultivated timberland and natural areas. As interest and investment floods Clay County, the Agricola's are working to provide an **alternative to this sprawl** and show a better way to grow--one that adds to the character and charm of a County rather than homogenizing it to be just like neighboring communities. **Featuring the small-town charm, culture, and rural character of Clay County**, a legacy can be created for all.



GUIDING PRINCIPLES



Create a Complete Community

A complete community provides the majority of the needs of its residents within the community. This is accomplished by **incorporating a wide variety of housing types, workplaces, retail and restaurants, healthcare, schools, and parks into a series of neighborhoods**, each surrounded by natural areas and agriculture, interconnected trails, sidewalks, canals, and tree-lined streets. The result is a well-designed, high-quality community that is self-sufficient, cohesive, welcoming, and exceptional, complementing the County's agricultural heritage. Being a Complete Community is the basis for each of the subsequent Guiding Principles.

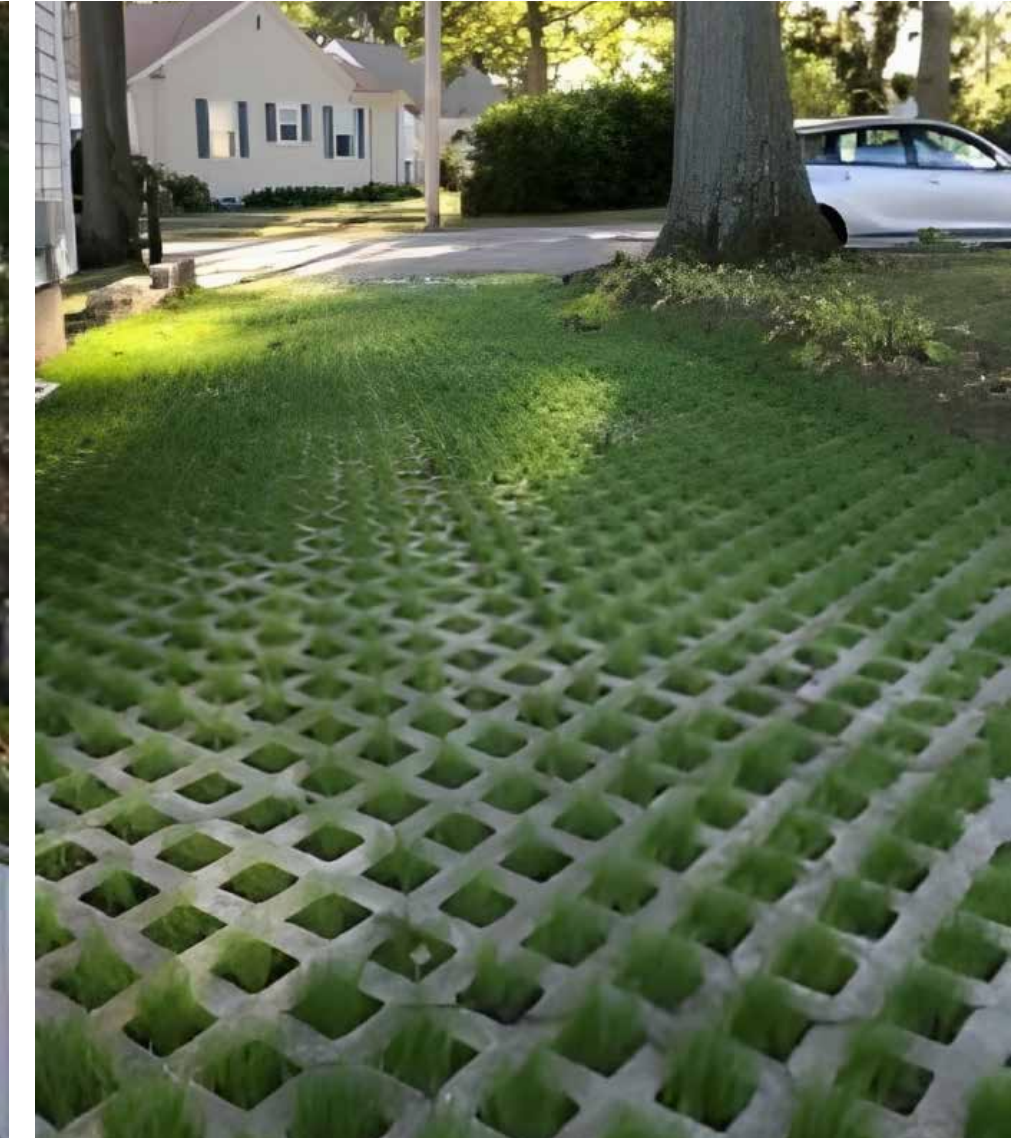
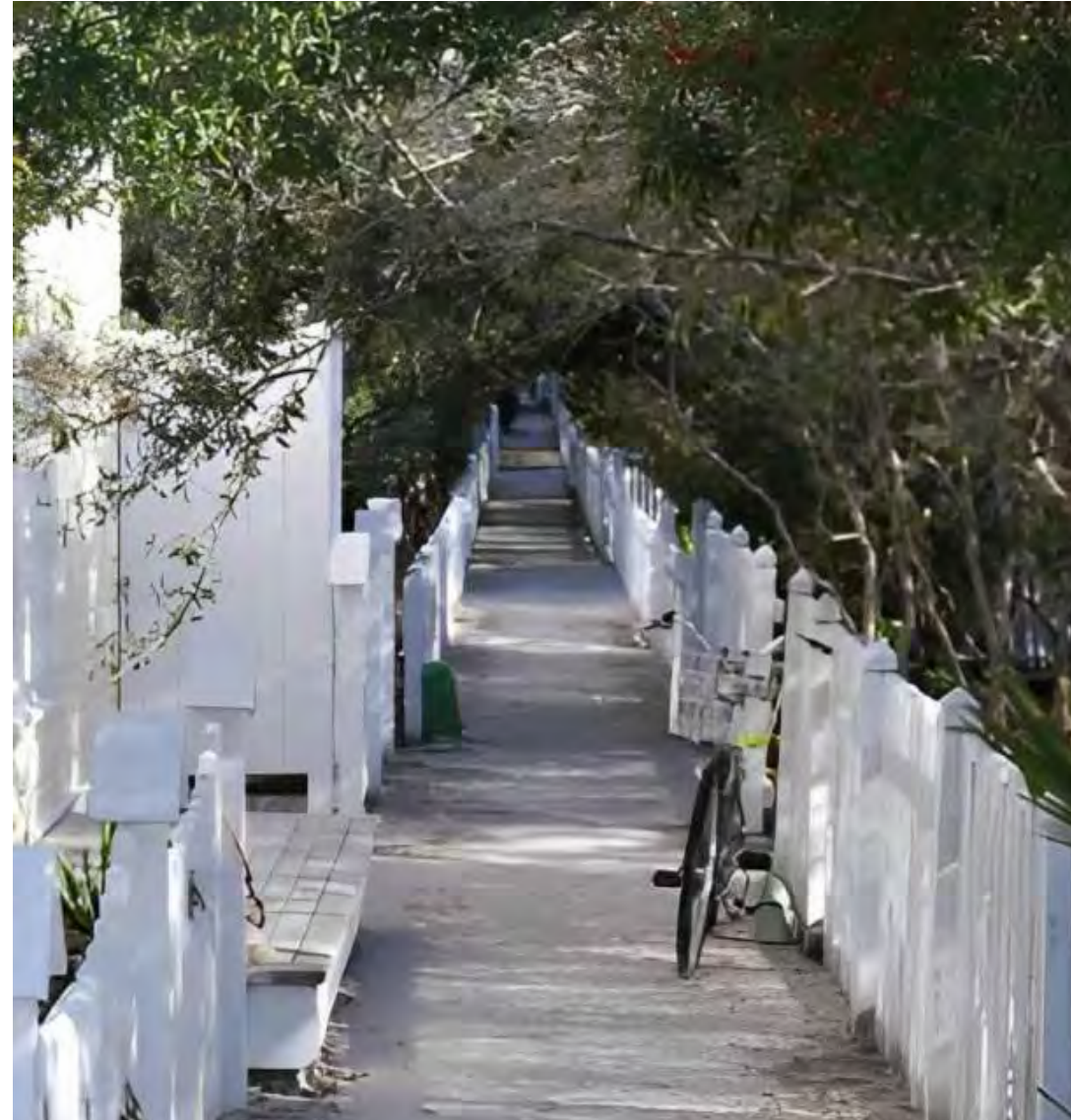


GUIDING PRINCIPLES



Promote Stewardship of the Natural Environment

As stewards of the land, we seek to **feature and enhance the property's natural assets** – including wetlands, woodlands, tree canopy, and creeks. Strategically creating an **interconnected network of green space** allows opportunities for the preservation of wildlife habitats, protection of water quality and quantity, provision of recreational access, and contributes to the overall identity and sense of place of Clay County. Using these conservation strategies, in conjunction with green building practices and materials, can create a more sustainable and resilient future. Additionally, incorporating sustainable stormwater techniques minimizes impacts on infrastructure, wisely manages natural resources, and responds to and celebrates the site.



GUIDING PRINCIPLES



Provide Opportunities for Healthy Living

Through design, we can protect and enhance the health of residents and visitors to the community. Ensuring access to fresh, healthy food, recreation opportunities, and a connection with nature make healthy living easy and convenient. Communities that provide large natural areas, a network of trails, bicycle facilities, walkable streets, and parks, and have a general **focus on wellness, can reduce stress and increase physical activity for those that live, work, and visit.** Additionally, the quality of life and health of children in the community can be enhanced by designing neighborhoods that are pedestrian-friendly, safe, and conducive to a “free range” lifestyle for kids. Finally, incorporating agriculture into the community at all scales, which could include a regional CSA, community gardens, and individual plots, increases access to fresh, healthy food for residents and patrons of farm-to-table restaurants, with the surpluses available for purchase from the greater community.



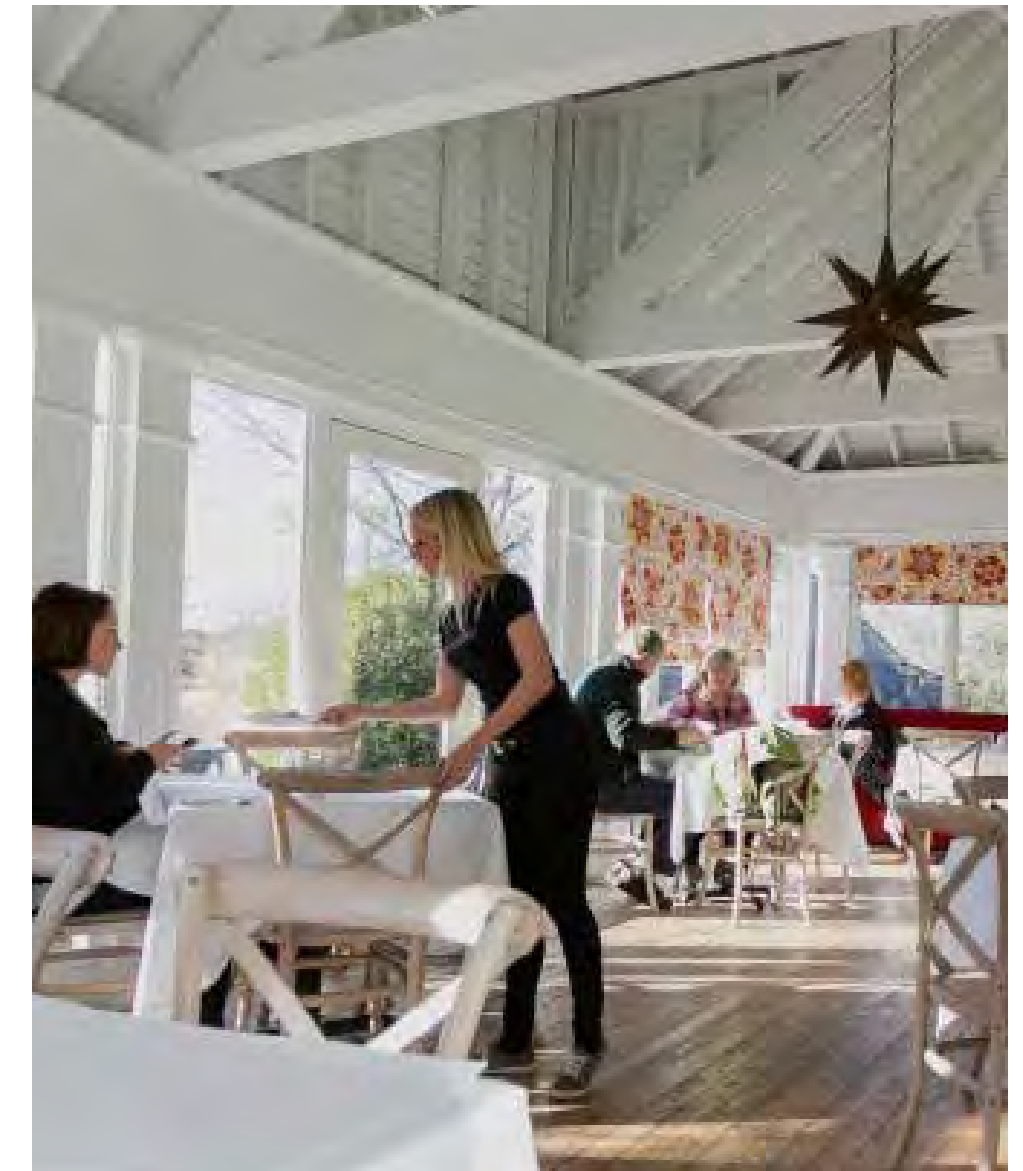
GUIDING PRINCIPLES



Foster Economic Growth

Well-designed and thoughtful communities should add to the economic sustainability and resiliency of the region. To accomplish this, a community should be attractive to employers and their employees, provide the necessary digital infrastructure, and **create opportunities for a variety of new and innovative businesses at multiple scales.**

This can increase the County's competitive advantage in the region and state and attract high-quality companies, entrepreneurs, and knowledge-based businesses to the area. Recruitment initiatives that focus on the "triple-bottom-line" of a community like this can attract businesses with aligned goals, improve the tax base, promote economic vitality for other local businesses, and increase access to employment opportunities and living wage jobs within the County.





Public Outreach

The development team hosted a two-part Charrette over the course of 8 days in Clay County to receive input from local residents, business owners and county staff in the Spring of 2022. That input was integrated into the guiding principles and the overall design of the site, which was largely done in-person during the charrette.

What We Heard

1. Coordinate with Haller Airpark
2. Drainage/Preserve Wetland Areas
3. Parks and Trails
4. Native Trees and Landscaping
5. Multiple Access Points
6. Jobs

Guiding Principles

1. Legacy for the Future
2. Sustainable
3. Thoughtful Context Sensitive Solutions in keeping with Rural Character
4. Employment Opportunities

Sustainability Goals

- Protect all wetlands & expand buffers
- Connect & restore natural systems & drainage patterns
- Utilize compact development patterns
- Create landscape management plan for preservation/succession
- Compact & Light on Land
- Pervious surfaces
- Provide wildlife habitat
- Bio-retention (rain gardens)

**PLEASE JOIN US FOR OUR
COMMUNITY INPUT SESSIONS**

THE AGRICOLA PROPERTY

Please join us for a Community Kickoff and Public Design Charrette for a new development in Clay County, FL. Our process always starts with the community. There are no preconceived notions and the design team has not started working on the project yet. You will be joining us at the very inception of the project.

During the charrette, the citizens of Clay County, elected and appointed officials and county staff will work collaboratively with the developer and their design team to envision a conservation and neighborhood plan for the future of the property at the intersection of US Hwy 17 and Leno Road. All events listed are open to the public.

COMMUNITY KICK-OFF MARCH 20-21

Sunday, March 20, 2022 9:00am-7:30pm
Kickoff presentation + Hands on Workshop
Clay County Theater - 326 Walnut St, Green Cove Springs, FL 32043

Monday, March 21, 2022 9:00am-12:00pm
9:00am - 10:00am
Utilities (Topical Meeting 1)

10:30am - 11:30am
Transportation (Topical Meeting 2)

CHARRETTE APRIL 2-6

Saturday, April 2, 2022 10:30am - 11:30am
Land Use & Character (Topical Meeting 3)
Thrasher-Horne Conference Center
283 College Drive, Orange Park, FL 32065

April 3-5, 2022 10:00am - 7:00pm
Open Studio
Thrasher-Horne Conference Center
283 College Drive, Orange Park, FL 32065

Monday, April 4, 2022 5:30pm-7:00pm
Mid-way Review
Thrasher-Horne Conference Center
283 College Drive, Orange Park, FL 32065

Wednesday, April 6, 2022 5:30pm-7:00pm
In-Progress Presentation
Clay County Theater - 326 Walnut St, Green Cove Springs, FL 32043

THE AGRICOLA PROPERTY

Home About Get Involved Charrette Forums Cont

"BIG IDEAS" TO MAKE CLAY COUNTY A BETTER PLACE TO LIVE!

Home > Forums2 > Topics

Viewing 6 topics - 1 through 4 of 4 total

Topic
Would your ideal community have more recreation, parks, and trails or shops and restaurants? Started by: agricoladev in Living in Clay County
Where is your favorite place to visit and what is the one thing you would bring from there to Clay County if you could? Started by: agricoladev in Living in Clay County
What amenities would you like to be in walking distance of your home? Started by: agricoladev in Living in Clay County
If you could create the ideal community, what would it be like? Started by: agricoladev in Living in Clay County



Part 02

SITE DESIGN

DESIGN PROCESS



Introduction

Town Planning and Urban Design Collaborative works to bring all disciplines involved in the creation of a place together, including civil engineering, landscape architecture, transportation engineering, architecture, and planning. **Their focus on urban design ensures that each element is working in tandem to cohesively shape the physical environment to create walkable, human-scaled places.**

For the Agricola project, this cohesive process began by laying out the framework based on site context, local and regional planning, and market analysis. The initial site analysis included careful attention to surrounding uses, access points, topography, and environmental constraints such as wetlands, flood plain and wildlife habitats. From there, a **green space network was formed to preserve and protect natural assets on site**, such as Governors and Peters Creeks and the Historic Bellamy Road. Then a transportation framework was laid out, building off of existing logging roads and access points to minimize impact on existing natural systems and the current traffic pattern along US 17.

Next, a series of conversations and studies were performed during the 8-day public charrette to determine what type of development was appropriate for this area. Based on the natural constraints and context, it was agreed that the clustered development pattern was best. **Clustering development allows for maximum protection of natural systems by developing more densely in nodes rather than traditional sprawling development.** These nodes contain a variety of uses and housing types to accommodate daily needs and incomes, are designed around the standard 5-minute walk, to encourage walkability and include a civic space at its core.

From there, studies were performed to determine the appropriate amount of residential and commercial density within each cluster, given the location of existing County services and development. The **denser nodes were sited at the site's north end adjacent to complimentary future land uses to maximize resources and minimize impact.**

Finally, a regulating plan within the PUD regulatory document was completed to specify the overall character and form of the buildings themselves, civic spaces, street sections, and the public realm, and the interstitial space between buildings that create the character of a place.

COMPARABLES



Research

The development team looked locally and nationally to source their inspiration for the Agricola Property visiting many national-models of community building. The following list of projects served as inspiration for key elements of the projects design including sustainability, conservation, small-town charm and character, architecture, Community Supported Agriculture Management, destination retail and much more.

Comparable Projects

- Serenbe - Atlanta, GA**
- Habersham - Beaufort, SC**
- I'On - Charleston, SC**
- Bellhaven Town Center**
- Old Town - Fernandina Beach**
- Congaree and Penn**
- The Inn at Serenbe**
- Serenbe Farm and CSA**

OPEN SPACE FRAMEWORK



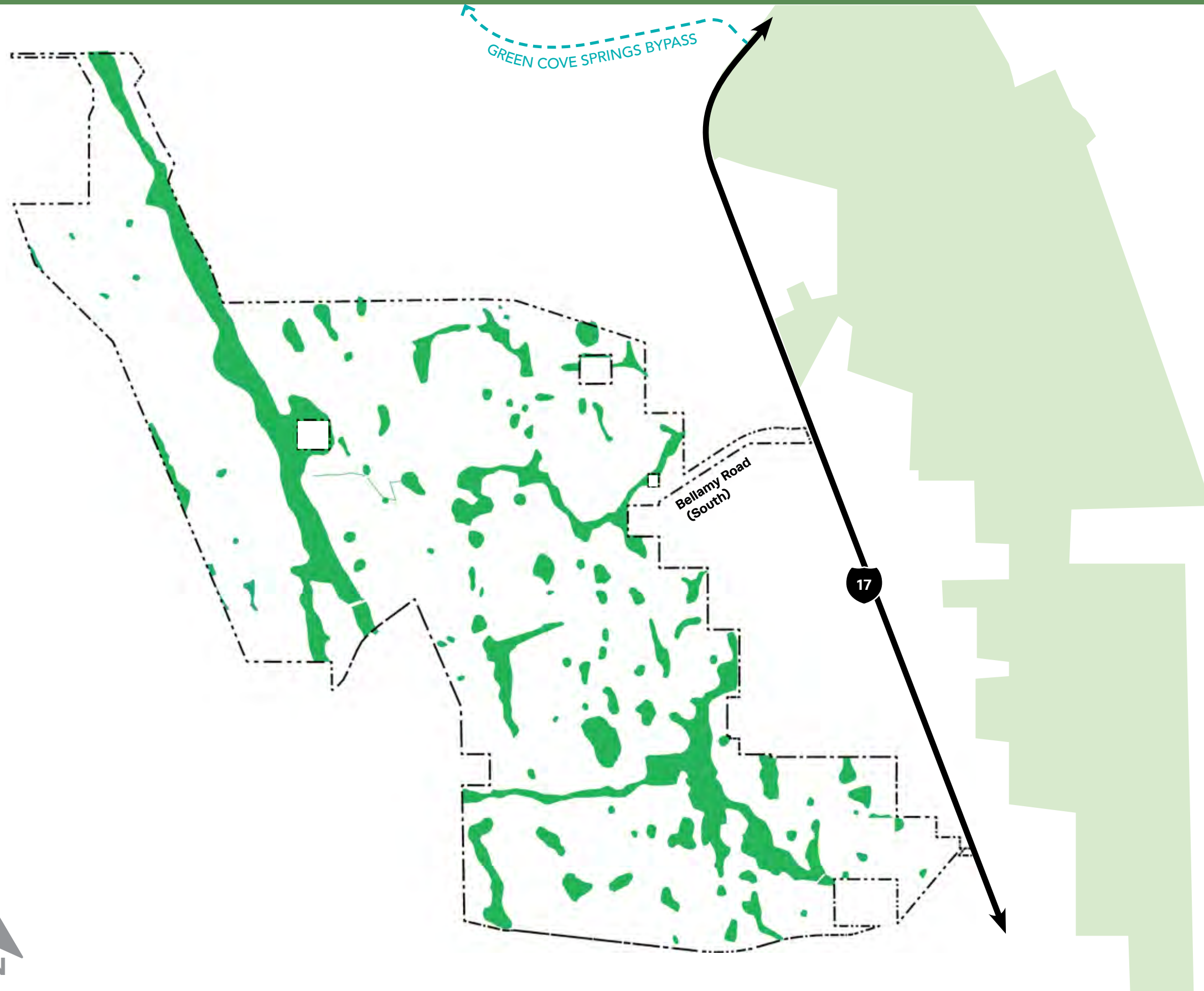
Open Space

The initial site analysis included careful attention to surrounding uses, , topography and environmental constraints such as wetlands, flood plain and wildlife habitats. On the following pages, a layered green space network will emerge that preserves on-site wetlands, promotes a substantial wetland buffer and uses topography and natural systems to identify remaining open space to preserve in between these assets to preserve the connected natural systems in place.

Together, these elements will create an open space network that makes up approximately 50-60% of the property. These will be largely underdeveloped but will include trails for recreation.



OPEN SPACE FRAMEWORK



Legend

- Existing Wetland

Existing Wetlands

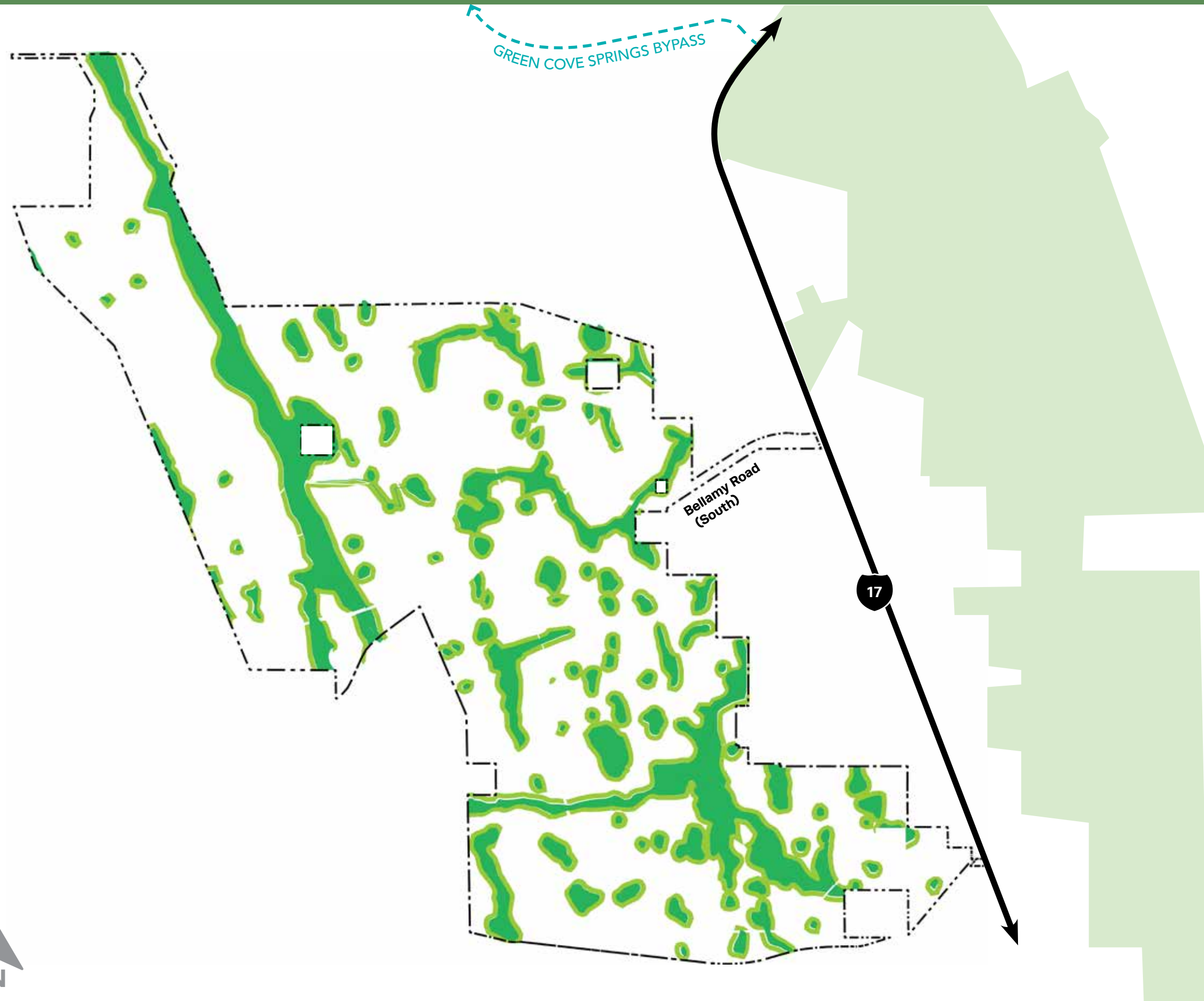
522
acres

17%
of site

All numbers are approximate. Existing Wetland Data is based on NWI and subject to change and more detailed data is given.



OPEN SPACE FRAMEWORK



Legend

- Existing Wetland
- 100' Wetland Buffer

Existing Wetlands

522 acres **17%** of site

Proposed Wetland Buffer

472 acres **15%** of site

All numbers are approximate. Existing Wetland Data is based on NWI and subject to change and more detailed data is given. The proposed Wetland buffer is approximately 100' on average.



OPEN SPACE FRAMEWORK



Legend

- Existing Wetland
- 100' Wetland Buffer
- Natural Area

Existing Wetlands

522 acres **17%** of site

Proposed Wetland Buffer

472 acres **15%** of site

Natural Green Space

500-760 acres **16-24%** of site

All numbers are approximate. Existing Wetland Data is based on NWI and subject to change and more detailed data is given. The proposed Wetland buffer is approximately 100' on average.



OPEN SPACE FRAMEWORK



Legend

- Existing Wetland
- 100' Wetland Buffer
- Natural Green Space
- Formal Green Space

Existing Wetlands

522 acres **17%** of site

Proposed Wetland Buffer

472 acres **15%** of site

Natural Green Space

500-760 acres **16-24%** of site

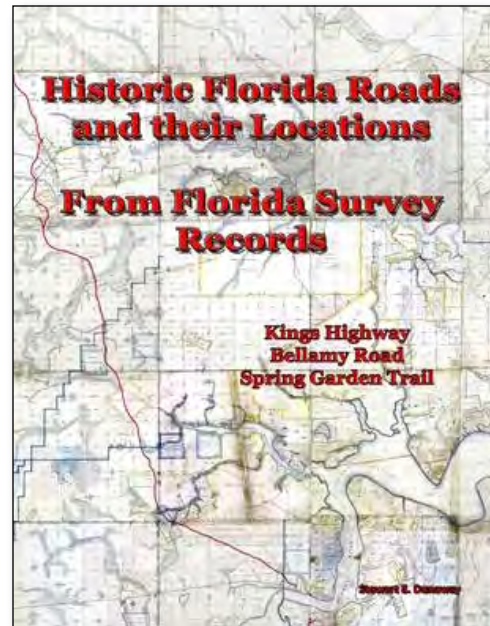
Formal Green Space

60-140 acres **2-4%** of site

Total Open Space

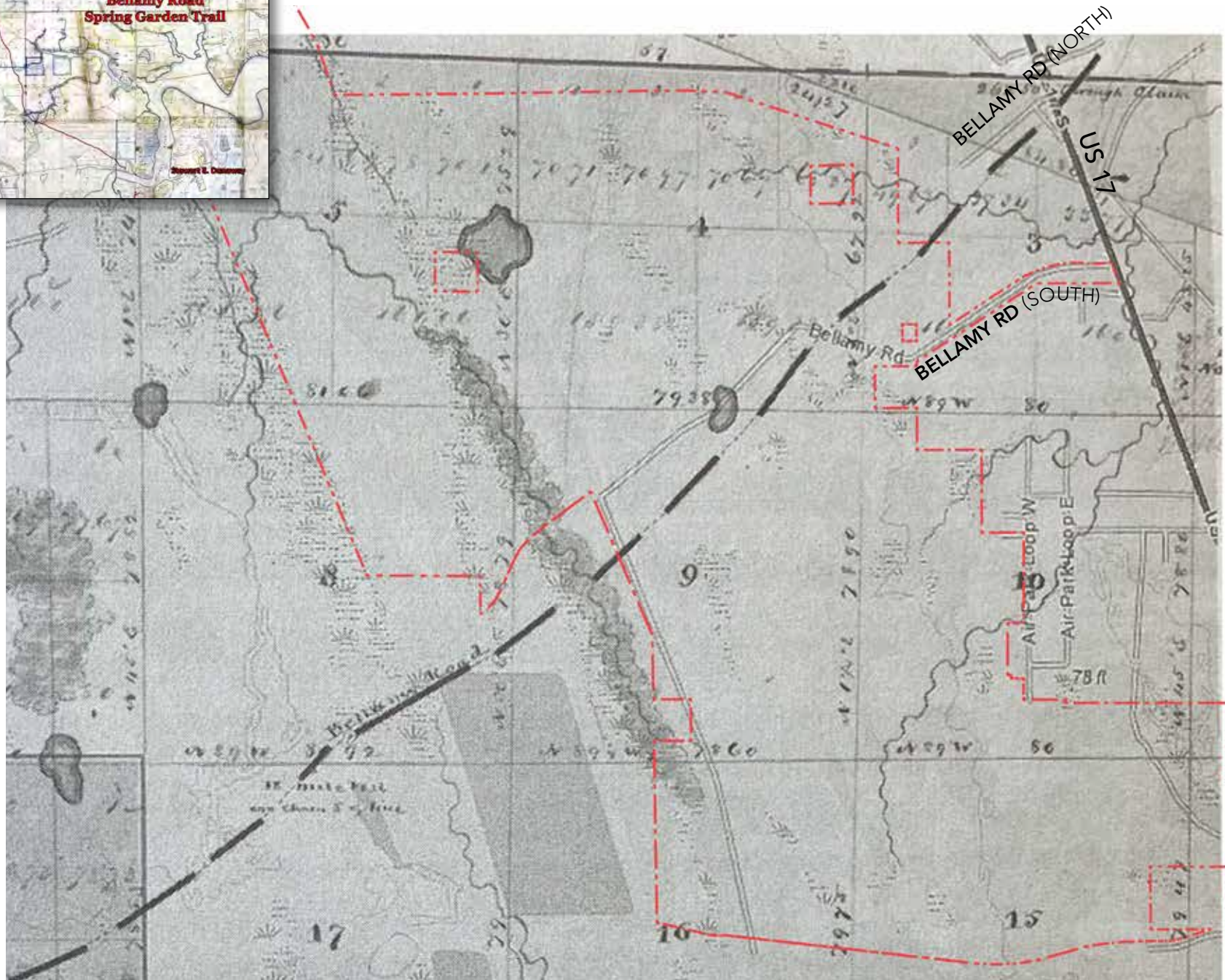
1,573-1,889 acres **50-60%** of site

Regardless of percentage chosen within given range, all percentages should add to 100% and total to 3,145 acres once developed acreage is included.
 All numbers are approximate. Existing Wetland Data is based on NWI and subject to change and more detailed data is given. The proposed Wetland buffer is approximately 100' on average.



Legend

- Historic Bellamy Road
- - - Property Boundary



Historic Bellamy Road

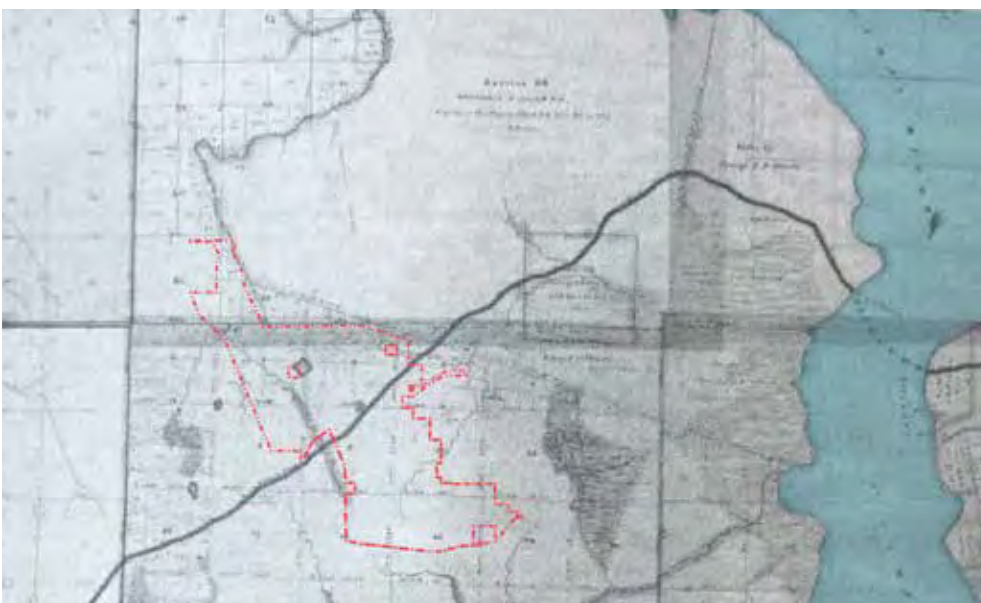
Bellamy Road was the first major U.S. federal highway in Florida. The road followed an old Native American trade route that connects modern day St. Augustine to Pensacola. Prior to British occupancy the route was also used by the Spanish as they traversed the peninsula.

Shortly before Alachua County incorporated in 1824, Congress authorized the creation of a road:

"...in the territory of Florida, a public road from Pensacola to St. Augustine... on the old Spanish road to St. Augustine, crossing the St. John's River at Picolata; which road shall be plainly and distinctly marked, and shall be the width of twenty-five feet."- 18th Congress Chapter 22, Section 1.

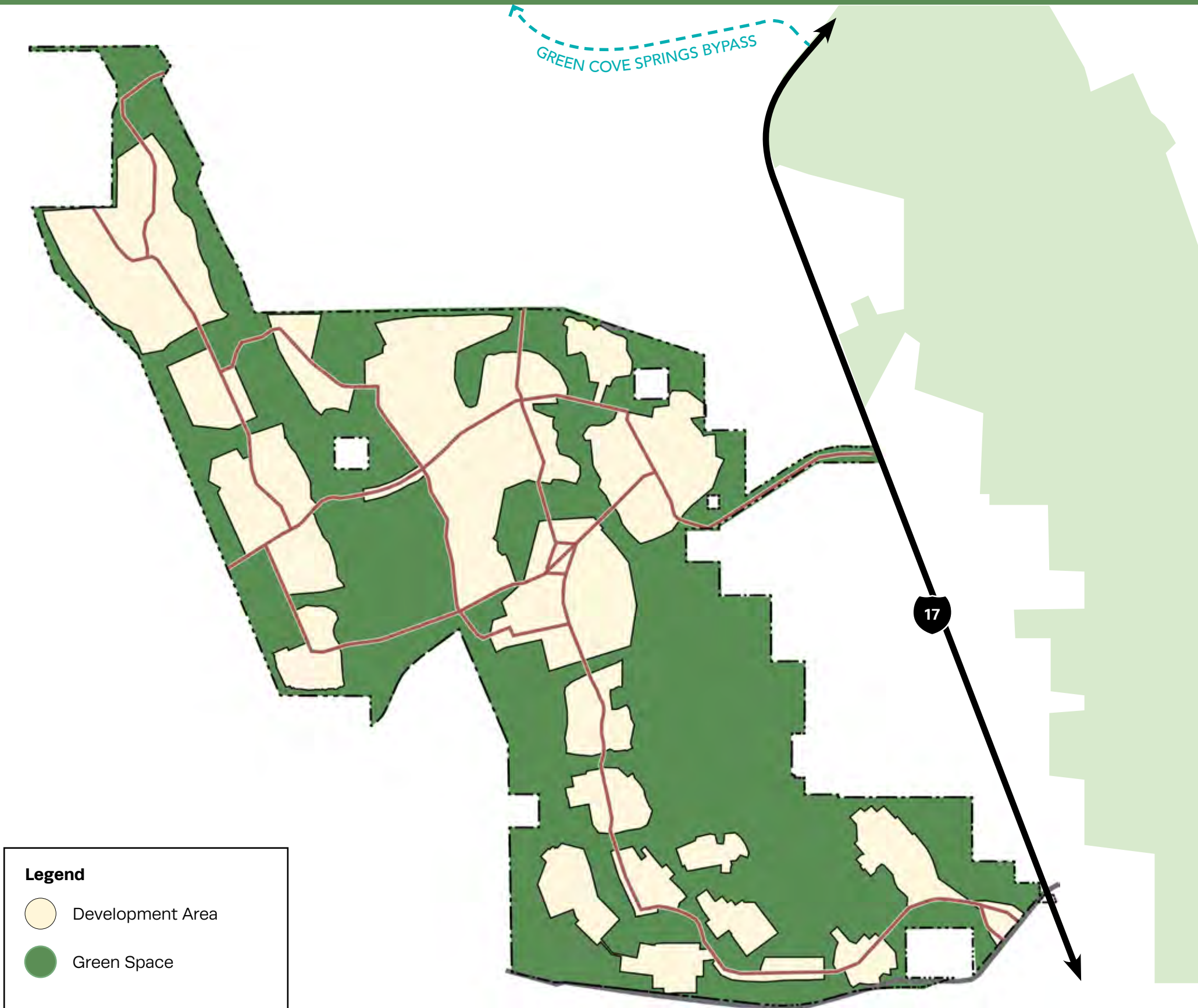
Although the road is no longer used, its general location is well documented. All accounts suggest that this historic road cuts across the Agricola Property. **With its importance to Florida's history, the development team is committed to commemorate this asset and will work with County Staff to determine what is appropriate at each development plan submission.** As it pertains to this site, a book titled "Historic Florida Roads and their Locations from Florida Survey Records" details where the road likely landed in Clay County and within the Agricola Site on pages 258-271. According to those maps, Historic Bellamy Road crosses through the Agricola Site along the SE corner of Section 4, and the NW corner of Section 9.

According to the plat, the road parallels modern day Bellamy Road and Bayard Road; however, it does not follow either existing modern Bellamy Road alignments. Here we overlaid our understanding of where the Agricola Property Boundary line falls on the old plat provided.



Source: Historic Florida Roads and their Location From Florida Survey Records, page 271

CLUSTERED DEVELOPMENT



Legend

- Development Area
- Green Space

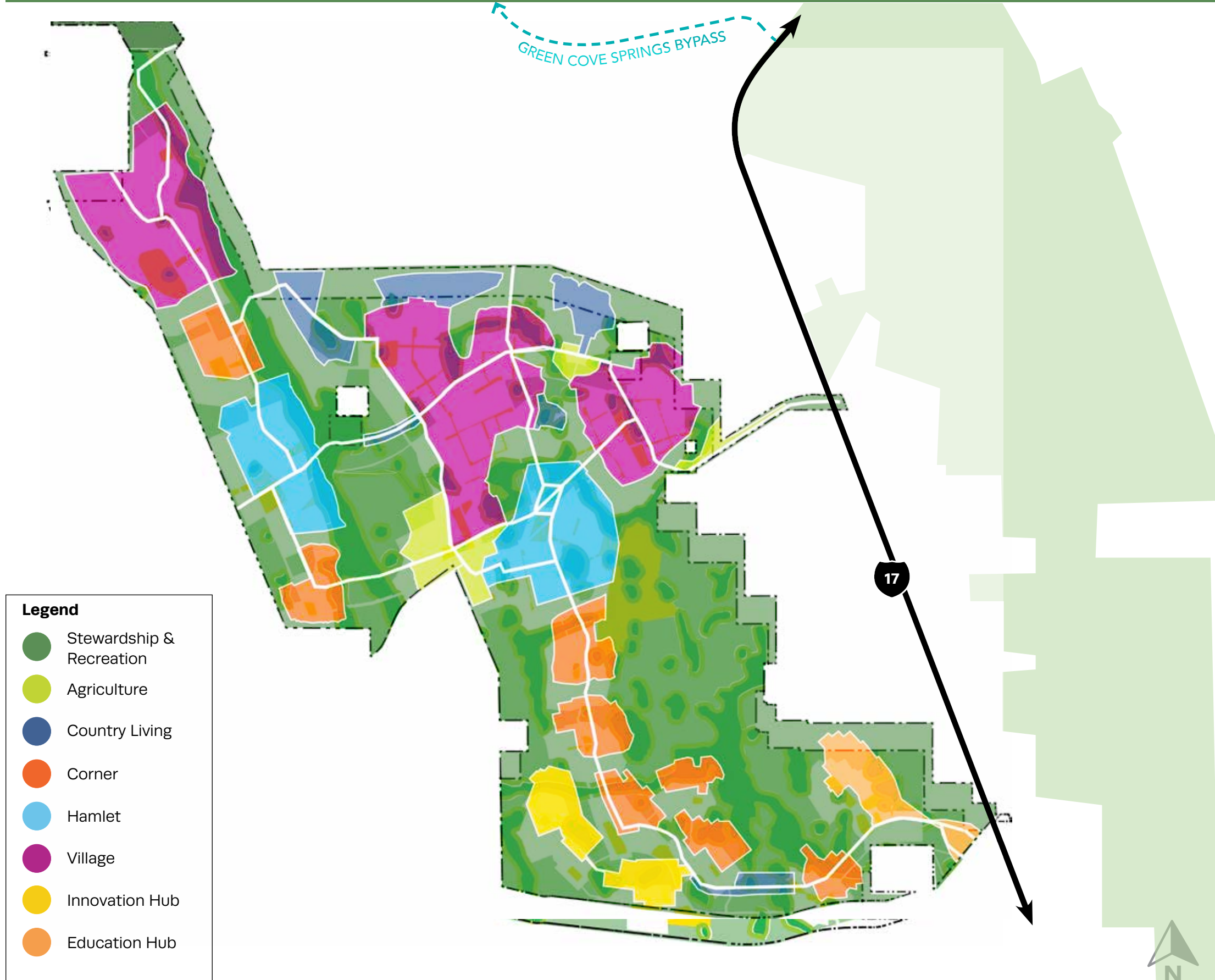
Development Approach

As previously described, the Agricola Property's site design utilizes the clustered development pattern. **This approach is known to preserve open space and rural character by densifying uplands leaving environmentally sensitive areas and natural systems intact.**

When applied over a large area, such as the Agricola Site this development style can decrease the impact of the region's growth on its natural resources and create a community defined by its natural assets.

CLUSTERED DEVELOPMENT

GREEN COVE SPRINGS BYPASS



Legend

- Stewardship & Recreation
- Agriculture
- Country Living
- Corner
- Hamlet
- Village
- Innovation Hub
- Education Hub

Compact, Complete, Connected

Within the Agricola Property, **each node has been carefully evaluated to determine the appropriate level of development and has been given a Settlement Type designation based on its context.**

The eight Settlement Types include: Stewardship & Recreation, Agriculture, Country Living, Corner, Hamlet, Village, Innovation and Education Hub.

Environmentally sensitive areas, such as wetlands, wetland buffers, and creeks, have been designated as the Stewardship and Recreation Settlement Type. These will remain natural and largely undeveloped other than improvements for walking and biking trails.

More rural Settlement Types include Country Living and Corners. These are primarily residential, offering larger lots and pastoral views. The more urban, Hamlets and Villages will provide a mix of housing types, shops, restaurants, places of work neighborhood schools, and other civic uses. Innovation and Education Hubs will offer employment, education, and entertainment opportunities as well as a full range of housing types. Areas with more residential density have been sited towards the northern end of the site adjacent to existing infrastructure for maximum efficiency on resources.

A portion of the site has been designated for Agriculture purposes. This land can support various intensities, including production agriculture, community-supported agriculture, individual farming, and community gardens.

Throughout the settlements, an extensive interconnected system of trails, parks, and open space will link neighborhoods and villages to a larger regional open space system.

CLUSTERED DEVELOPMENT

Recreational Spring Run



Village Center



Corner



Community Agriculture Node



ILLUSTRATIVE MASTER PLAN



A Series of Settlements

The Agrícola Property is designed with the existing context of Clay County in mind, as well as the future context of the surrounding area. It will be market-driven and will grow as the region grows over the next three decades as a series of Settlements varying in density and character. At the core of each settlement will be a commitment to placemaking, vibrant neighborhood centers, walkability, wellness and human scaled design.

A long-range view of the Agrícola Property provides the opportunity to share connections and services. Shared facilities, increased connectivity between communities, and increased access to transit options are ways neighboring villages within clustered growth areas may support one another and further preserve existing agricultural land and timberland.



The plan for the Agrícola Property is based on concepts that have worked well in many places around the world for centuries, combined with the concepts of Smart Growth, New Urbanism, and Conservation Design. Town Planning & Urban Design Collaborative LLC used conceptual drawings to develop the illustrative Master Plan.

CHARACTER DISTRICTS

A Series of Settlements

Each Settlement type will be made up of one or more Character District. Character Districts have specific development standards laid out in the PUD Regulatory document, which are intended to create a range of natural and built environments having a specific character. Character districts will be designated on each Final Development Plan submission. Each character district has regulations within the regulatory document that specify permitted Block Size, Frontage Types, Civic Space Types, Permitted Uses, Lot Occupation, Setbacks, Building Standards, Building Types, Parking Requirements, Thoroughfare Types, Loading and Access etc.

CONCEPTUAL RENDERINGS: VILLAGE CENTER



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MULTI-MODAL TRANSPORTATION NETWORK



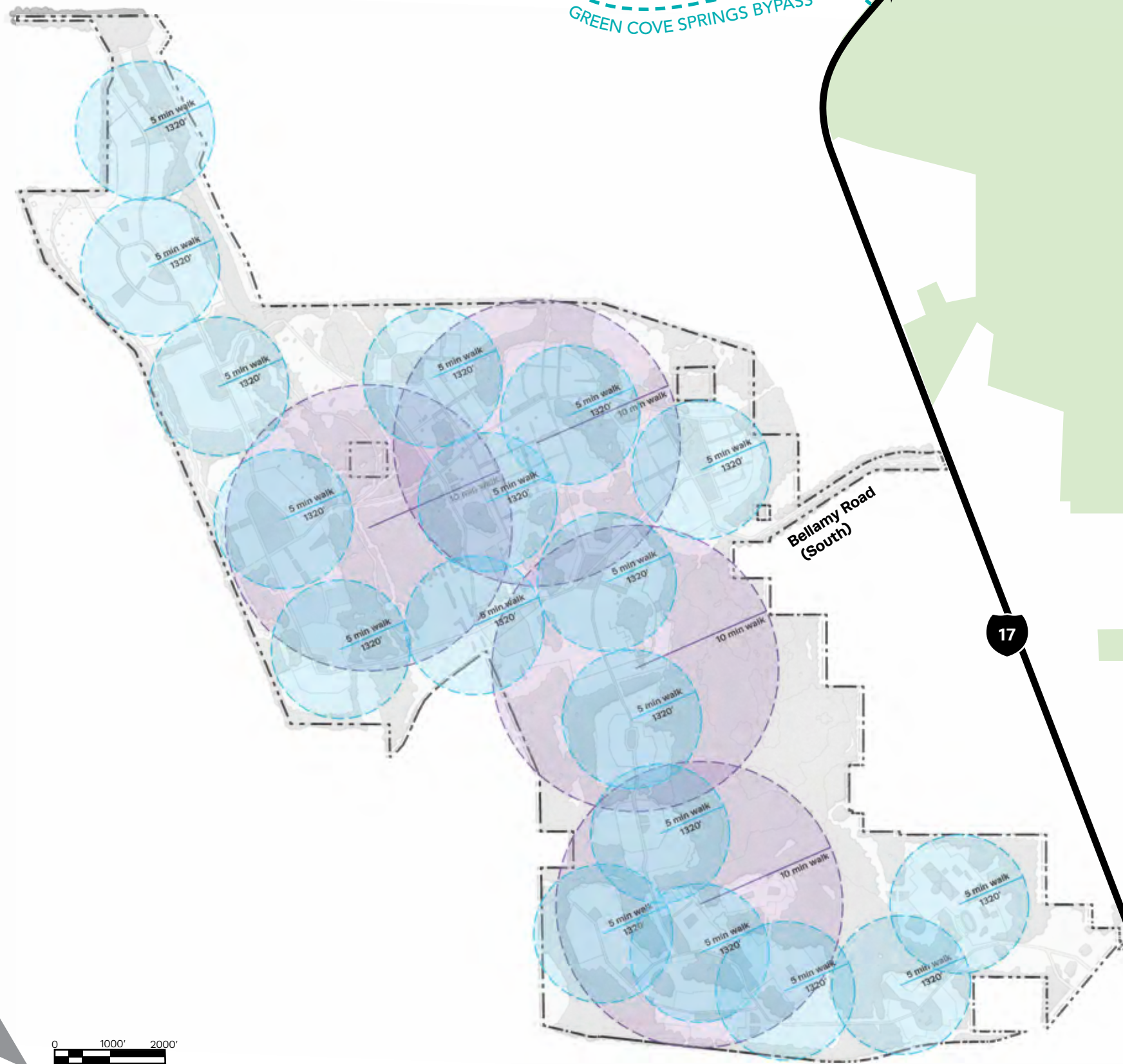
Connectivity

Through design, we can protect and enhance the health of residents and visitors in the community.

The Agricola Property PUD will provide a network of walkable streets, trails, bicycle facilities, and parks, not only serving the purpose of mobility but also as an additional public recreation facility. This can reduce stress and increase physical activity and connection with the community for those that live, work, and visit. Additionally, the quality of life and health of children in the community can be enhanced by designing neighborhoods that are pedestrian-friendly, safe, and conducive to a "free range" lifestyle for kids.

MULTI-MODAL TRANSPORTATION NETWORK

GREEN COVE SPRINGS BYPASS





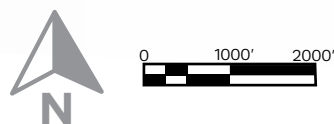
Pedestrian Oriented Design

One of the key design elements that sets a truly walkable compact neighborhood apart is called the Pedestrian Shed. Illustrated here, a pedestrian shed is defined as “a distance that can be covered in five minutes at a normal walking pace, typically shown on a plan as a circle with a quarter-mile radius. If the built environment is appealing and human scale, the theory is that most people will walk at least five minutes rather than getting in a car” (Congress for the New Urbanism).

The Agricola PUD’s site plan consists of a series of settlements that are each oriented around a standard pedestrian shed, meaning that, from the center of each pedestrian shed, a mix of uses that can include civic space, residential, commercial, office, etc., are clustered along a walkable human-scale pedestrian-oriented street. The clustering of development over the majority of the site provides a series of walkable human scaled settlements. thoroughfares extending beyond these centers will offer residents and visitors alike the choice to walk, bike, or drive throughout the community, versus only being able to use the conventional transportation method of automobiles. To take it one step further, each settlement is under a 10-minute walk to the adjacent settlement or a 3-minute bike ride.

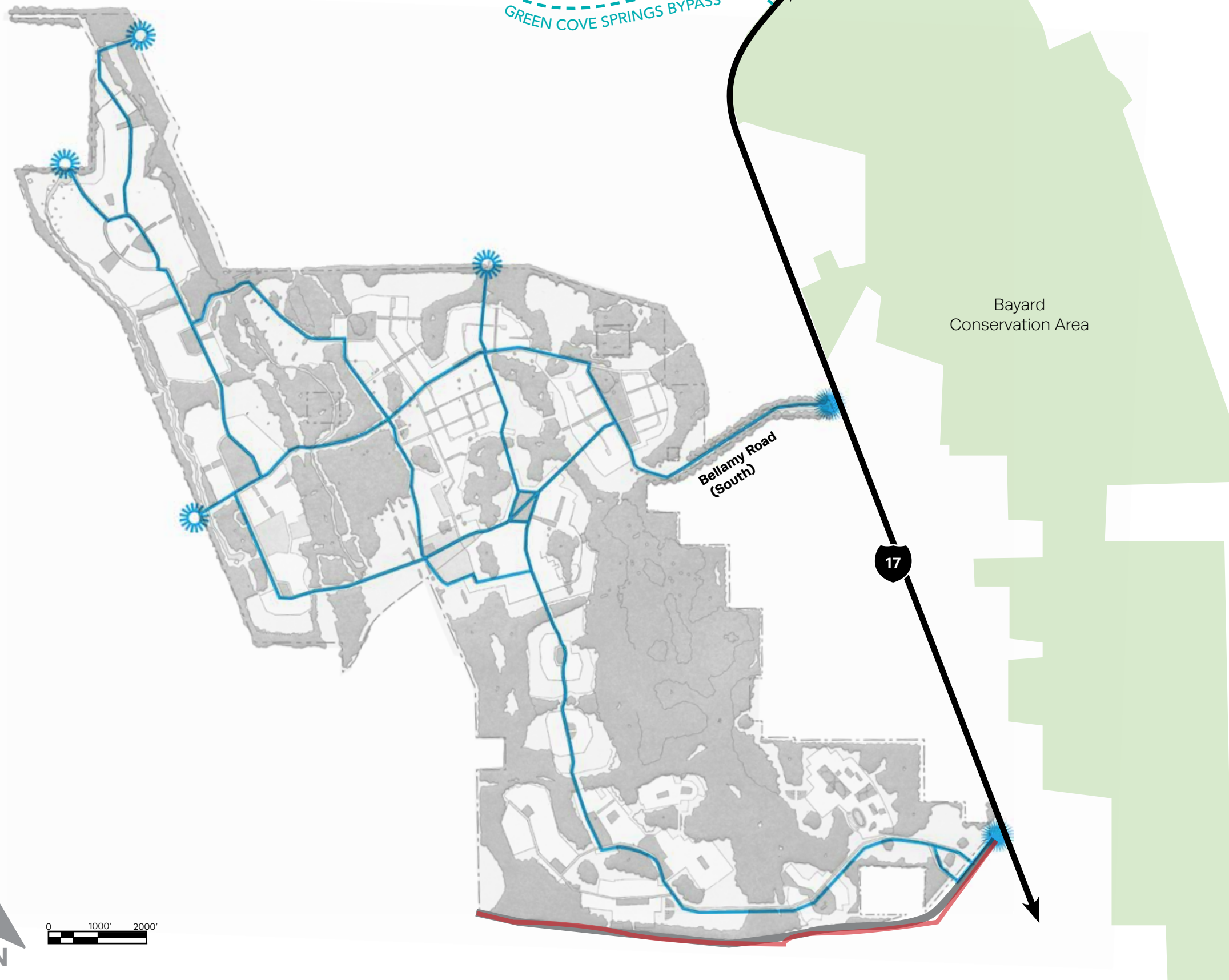
Legend

-  5 minute walk
-  10 minute walk



MULTI-MODAL TRANSPORTATION NETWORK

GREEN COVE SPRINGS BYPASS






Primary Thoroughfares

The primary thoroughfares illustrated here represent the main corridors within the project that connect each settlement. These are anticipated to carry the majority of automobile and commuter bicycle traffic.

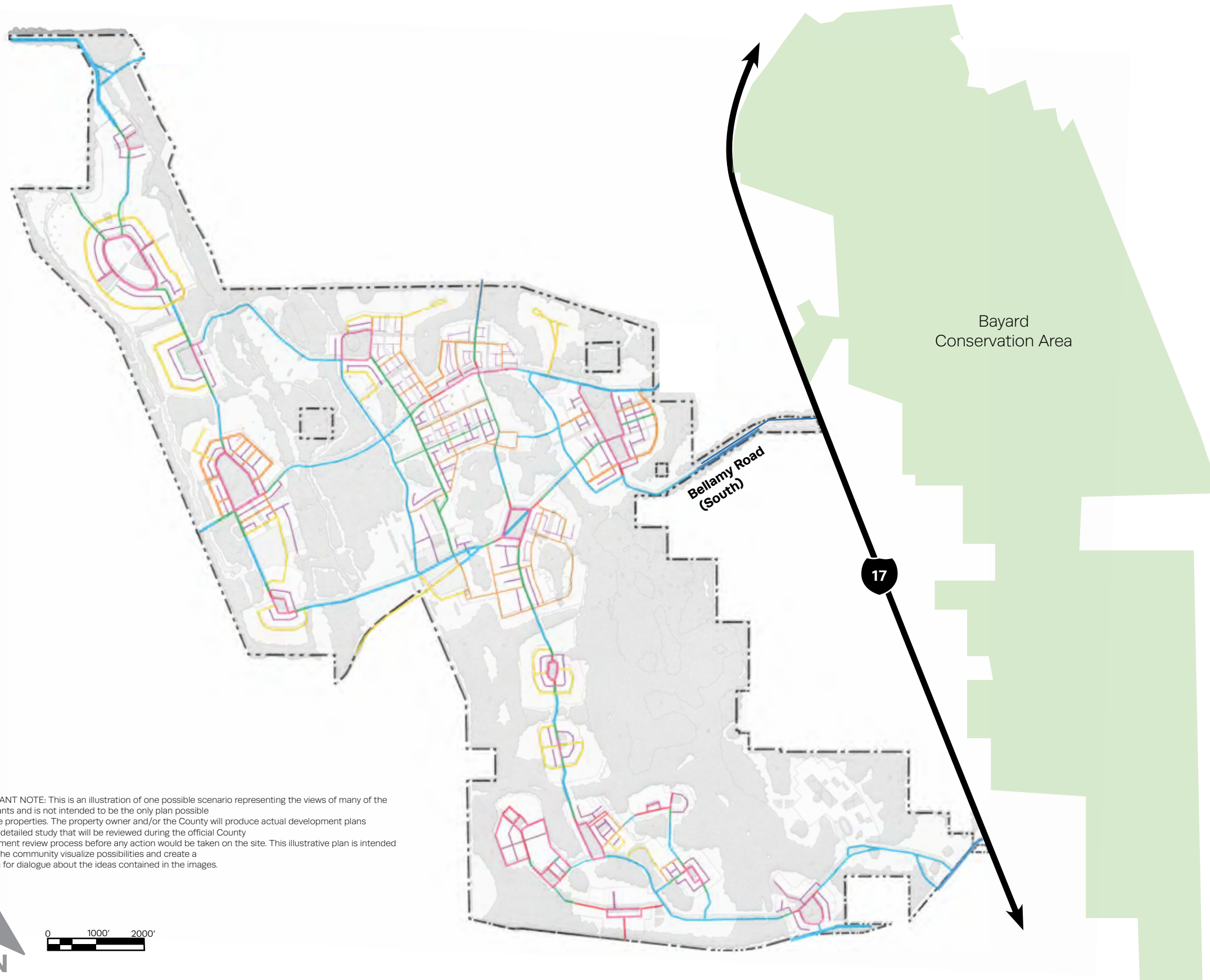
Existing site Access points are shown as a solid blue starbursts along US 17. These will be the primary access points for the development.

Clay County has expressed a strong desire for connectivity between neighboring developments. The Agricola Property is open to connecting with cooperating neighborhoods and properties wherever possible to increase mobility and decrease congestion by dispersing local traffic. Open blue starbursts represent potential connection points to the Agricola Property in the future.

Legend

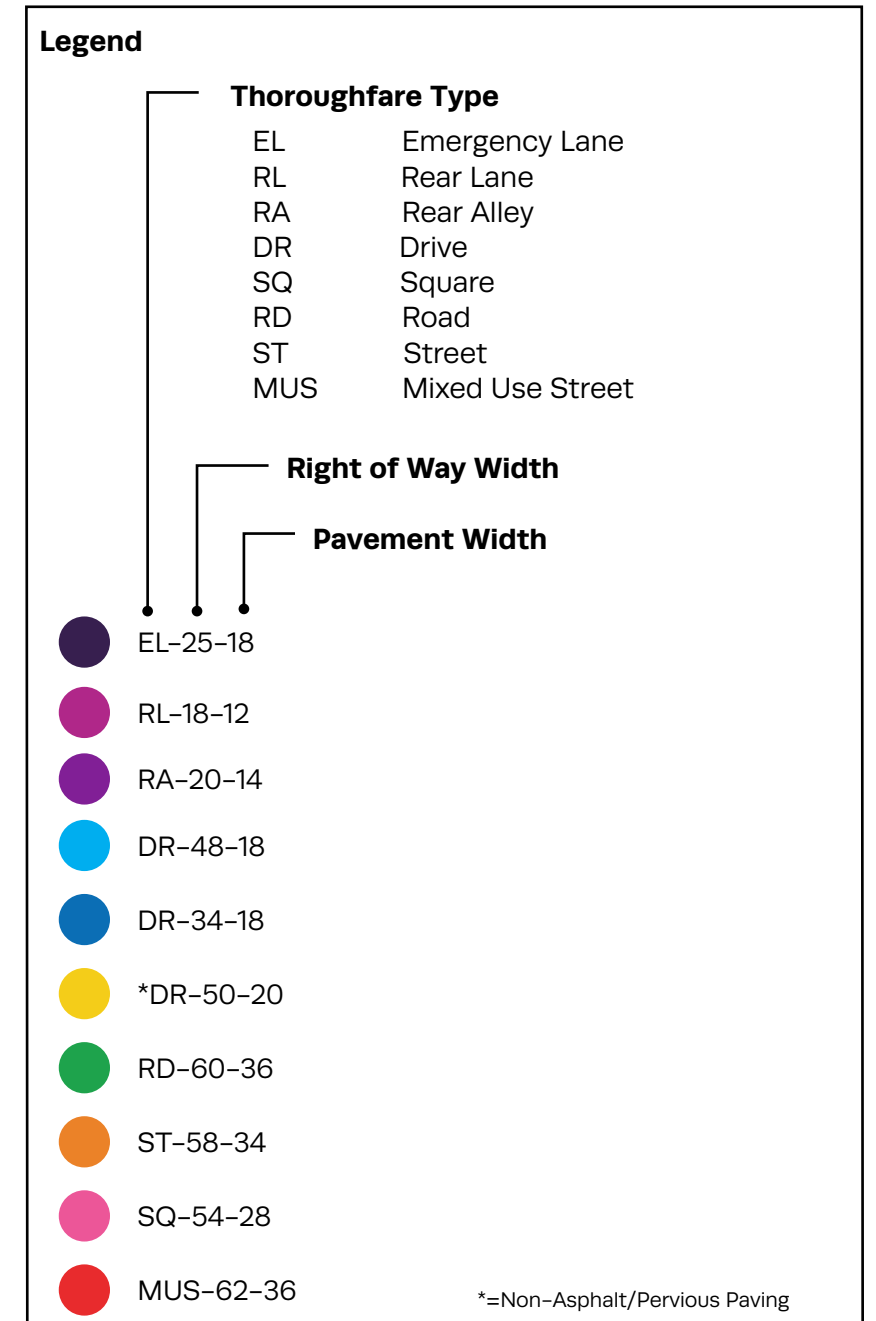
-  Site Access Point
-  Potential Future Access Points
-  Main Thoroughfare

MULTI-MODAL TRANSPORTATION NETWORK



Illustrative Transportation Network

A vast network of secondary and tertiary streets are planned to enhance connectivity and evenly distribute all modes of traffic. An extensive thoroughfare list below illustrates the diversity of streets that can be applied throughout the development including rear lanes and alleys for service and a wide range of local streets designed to safely transport pedestrians, bikes and cars as they move through different environments throughout the project.



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MULTI-MODAL TRANSPORTATION NETWORK



Bike Network

The primary thoroughfares illustrated here represent the main corridors within the project that connect each settlement. These are anticipated to carry the majority of automobile and commuter bicycle traffic.

Legend

- Primary Bike Network
- - - Primary Trail Network



Part 03

SUSTAINABLE PRACTICES

SUSTAINABLE PRACTICES

Low Impact Development

The Agricola Property will maximize utilization of Low Impact Development (LID) techniques and stormwater management practices, consistent with the project's core sustainability and placemaking values and goals. Site planning techniques and LID practices, such as bio-retention systems, bioswales, and permeable pavement are designed to reduce the impacts of development on the environment and promote the natural flow of water.

Managing stormwater in an integrated and comprehensive manner requires application of a variety of techniques at different scales. At the watershed/neighborhood scale, sensitive natural systems including steep slopes, wetlands and their buffers, and natural drainage patterns are prioritized and protected when identifying development patterns and site access locations – i.e. "where to build". Compact development footprints in conjunction with natural resource preservation can minimize overall impervious area within the watershed while also providing placemaking benefits and infrastructure efficiency. At the scale of the block, street, and site, smaller-scale decentralized LID stormwater management practices naturally filter, absorb, slow, and store stormwater as close to where it falls as possible – i.e. "how to build". Stormwater management practices designed to be appropriate to the neighborhood context can also serve as a functional piece of civic art, providing long-term added neighborhood value while performing the stormwater management function they are designed to fulfill.

Goals

A comprehensive stormwater management plan should seek to accomplish multiple goals in addition to satisfying the requirements by regulating entities. These goals are as follows:

1. Promote compact development in conjunction with preservation of contiguous sensitive natural resources.
2. Utilize LID practices to naturally filter, absorb, slow, and store stormwater close to where it falls as an alternative to conventional "pipe and pond" techniques.
3. Select, locate, and design stormwater management practices to reinforce the proposed urban character and context.
4. Carefully consider long-term infrastructure operation and maintenance requirements as a critical part of the planning and design process.

Elements

A wide range of tools and techniques at the watershed/neighborhood, block, street, and site scales form a palette of options for specific design. The elements described herein make up the "bones" of a context-oriented master stormwater management plan. Each element functions independently from the others, but operates in series with the other elements, creating compounding benefits for the entire stormwater management network. The multiple elements identified here provide for "built-in" redundancy for the master system allowing for flexibility in repair, long-term maintenance, and other modifications.

Plan level options are focused on handling larger, less frequent rain events. These options need to be prepared for addressing higher volumes, faster velocities, and longer draw-down or recharge times. Facilities designed to function at the plan level are larger, yet they remain in context with their surroundings so that they do not detract from the community. Plan level options address runoff control demands at the neighborhood and block level.



SUSTAINABLE PRACTICES

Watershed/Neighborhood Level

Neighborhood-wide management options typically include shaping of neighborhood form to minimize development footprint, protect sensitive natural resources, and work with existing topography. LID practices at the block/street/site scale are typically designed to filter and infiltrate smaller storm events with overflows for larger storms to larger-scale flood control practices such as ponds or underground detention/retention systems in appropriate locations based on topography and the proposed neighborhood form.

Throughout the neighborhood, public spaces that are large enough can be designed as catchment areas and part of the stormwater infrastructure. Recessed greens, sunken fields, gardens, or allotment plots are available to capture stormwater for a period of time. Infiltration over a controlled period occurs with these facilities so that groundwater recharge can keep small streams flowing during dry periods. Recreational ponds and canals may also be designed to detain stormwater with adequate pretreatment for water quality.

Block, Street, and Site Scale

At the block level, management options include facilities that handle At the block, street, and site scale LID management practices including impervious area reduction, bio-retention, bioswales, tree planting, and permeable pavement will be thoughtfully woven into streets and sites to filter and infiltrate smaller storms with provision for overflow during larger storm events.

Along streets where topography permits, grassed, planted, or bio-engineered swales will help filter and slow stormwater runoff. These swales differ from a standard rural roadside ditch in that they are wider, shallower, and contain specific plant material to help slow runoff and aid in pollutant and nutrient removal. All streets will be designed to minimize extraneous pavement – less pavement means less runoff.

For very low-volume private streets, utilizing the street travel way itself for the storage and delay of stormwater generation provides an underutilized opportunity for most new projects. Some on-street parking configurations will be able to use amended soils with a pervious surface for stormwater storage. Combined with specific curb and gutter details that are designed to carry water efficiently, yet provide some velocity attenuation with the ability to infiltrate during small storm events, the approach to street level management options is robust.

Along streets that feature a more urban character, tree planters can become stormwater runoff receptacles. Shallow depressions lined with grasses, hedges, and other water-tolerant plants can become



SUSTAINABLE STORMWATER PRECEDENT IMAGES

"pollution eaters," aiding in water quality improvement throughout the site.

For plaza areas and pedestrian streets, using low-profile "birco" or slot drains that are connected to a conveyance network, the integration of stormwater management and urbanism can become seamless.

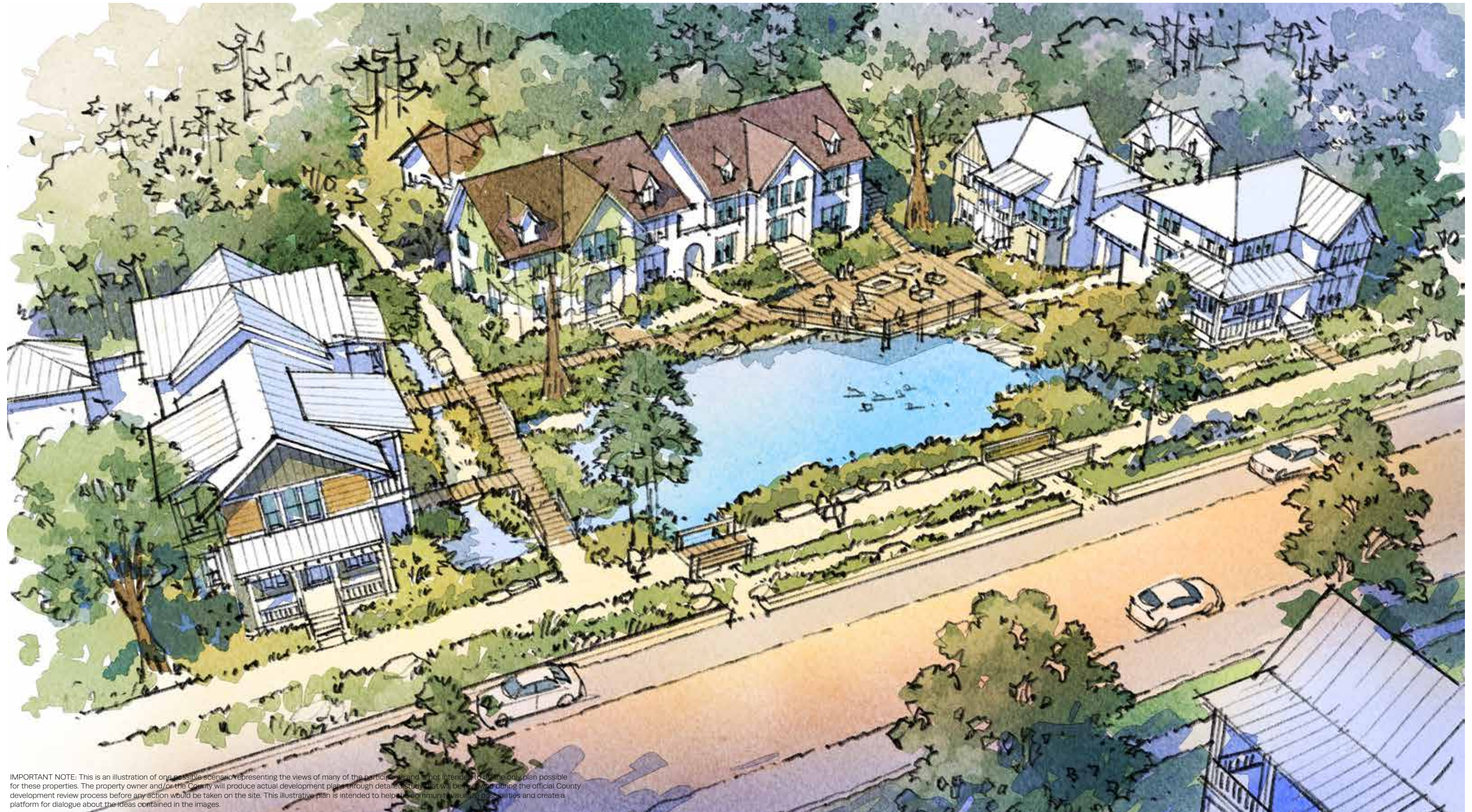
Where blocks incorporate an attached green, public open space, or other environmentally important space, slight depressions can be designed to assist in the temporary storage of stormwater runoff. Soils will be amended to assist with infiltration. Smaller lots can minimize or eliminate runoff utilizing rain barrels, small-scale rain gardens, stormwater planters, roof downspout disconnection, impervious area reduction and permeable paving surfaces wherever feasible. In the more urban blocks, underground infiltration systems can be incorporated into the public open spaces or under parking areas to contain stormwater runoff with possible reuse for irrigation, cleaning, or other purposes as permitted. Agricultural areas will incorporate a range of agricultural-related best management practices designed to prevent erosion, control sediment distribution, and manage surface water elimination. Irrigation and long-term storage measures will be incorporated as well.

Parking Lots

For surface parking lots, a series of integrated management practices will be implemented, using bio-retention, infiltration, permeable pavement where appropriate, and shallow ponding. Where large parking areas are planned, recessed greens with suitable sediment forebays will be used to aid in the control of larger storm events. Depending on the neighborhood-scale stormwater approach, parking areas are often suitable locations for subgrade detention/retention flood control systems.



CONCEPTUAL RENDERINGS: SUSTAINABLE STORMWATER



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Part 04

AGRICULTURE AT ALL SCALES

AGRICULTURE AT ALL SCALES

Growing an Agri-Community

Community Supported Agriculture

Approximately 100 to 200 acres of the site are anticipated to be used for farming. Within that acreage the a Community Supported Agriculture (CSA) is envisioned to supply residents with sustenance from within the community, as well as education and immersion opportunities. A CSA reconnects people to their food and is a partnership between the local farmers and consumers. Rather than the risk that farmers conventionally take on, a CSA is built on the stability that is provided by the support of shareholders and the farmer. Re-cultivating the sustainable scale of small farms by connecting farmers with their local population. This local population opts into a CSA membership which provides “seed money” for the produce.

This concept has grown in popularity around the country and in Florida. The Florida Department of Agriculture and Consumer Services (FDACS) maintains a list of CSAs within Florida. For instance, there are six registered CSAs in neighboring Alachua County. Among them are familiar names: Frog Song Organics and Swallowtail Farm. Produce grown at these locations include sweet corn, spinach, baby carrots, bok choy, beets, chard, eggplant, celery, collards, Cherokee Red Lettuce, Sweet Potato, Potatoes, Summer Squash, Spring Mix, and red radishes, to name a few. They also provide eggs, pasture-raised pork, jams, kimchi, syrups, and pickles.

The Agricola development team plans to bring on a farming consultant to further develop the CSA program and regenerative farm concepts.

Individual Large-Medium Scale Agriculture

Approximately 100 to 200 acres of the site are anticipated to be used for farming. The majority of these plots will range from 5 to 25 acres. Post entitlement, a farming consultant will be brought on to further develop the agricultural plan. This will include an agriculture overlay to show the relationship between development, conservation, and agriculture, highlighting the best opportunities on-site for this land based on context, soil types, and topography. This study will also explore all possible locally grown crop opportunities and assess them for viability in our soils and their impact on the community (noise, smell, etc.).

Community Pasture & Land

A pasture could include a small number of sheep and goats. The community flock is mainly for the pleasure of friends and neighbors, who would like to enjoy farm animals without the responsibility and dependence associated with personal farming.

Silviculture/Timbering

The Agricola's plan to continue maintaining a working forest on the site through silviculture and best management practices. “Silviculture is the art and science of controlling the establishment, growth, composition, health, and quality of forests and woodlands to meet the diverse needs and values of landowners and society such as wildlife habitat, timber, water resources, restoration, and recreation on a sustainable basis. This is accomplished by applying different types of silvicultural treatments such as thinning, harvesting, planting, pruning, prescribed burning and site preparation. Intermediate treatments (thinning) are designed to enhance growth, quality, vigor, and composition of the stand after establishment or regeneration and prior to final harvest. Regeneration treatments (harvesting) are applied to mature stands in order to establish a new age class of trees.” <https://www.fs.usda.gov/forestmanagement/vegetation-management/silviculture/index>

Community Gardens & Orchards

Land for Community/Allotment Gardens will be available to families wishing to participate in community gardening activities and grow orchards.

Farmer's Market & Other Agriculture Events/Activities

The civic spaces within Node A and B will be used regularly for outdoor events and a seasonal farmer's market. Other civic spaces will be used for such events, but less frequently.

Post entitlement, a farming consultant will be brought on to further develop a program outline for such events and activities that support the culture, intention, and community-building for the project.

Considered Items:

- Hen & Eggs Co-Op
- Horse Share Co-Op
- Community Pasture Land
- Community Center with Commercial Kitchen & Produce Prep Room
- Community Barn
- Community Greenhouse



AGRICULTURE AT ALL SCALES



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Part 05

REGIONAL DESTINATION

REGIONAL DESTINATION

Regional Destination or the “Urban” Magnet theory for new developments – creating an experience of authenticity in new developments through the use of a land use and design concept called “Urban” Magnets. “Urban” Magnets are special places focused around an activity-based subculture. These places include specialty retail, production, education, and event uses for that subculture, and a physical design that supports their activities and reflects their identity. In response to the dynamic vitality of these subcultures, others come to watch and participate, and over time, these places become socially magnetic--attracting both the core subculture and many others. The foregrounding of the authentic identities and activities of an activity subculture creates a strong sense of authenticity in urban space. Based on industry research, trends, and site opportunities, we assessed three demand drivers and opportunities for positioning and orientation based on national case studies: Culinary, Wellness, and Outdoor Recreation.

One of these or a combination of the three are being explored as a potential demand driver for the community:

Culinary Oriented: restaurant-driven luxury inn, country inn, or farm resort – that also serves as a wedding/event venue.

Wellness Oriented: Wellness-focused and eco-friendly hotel, retreat and conference center. Potential farm component would offer locally sourced food/dinners supporting the wellness focus.

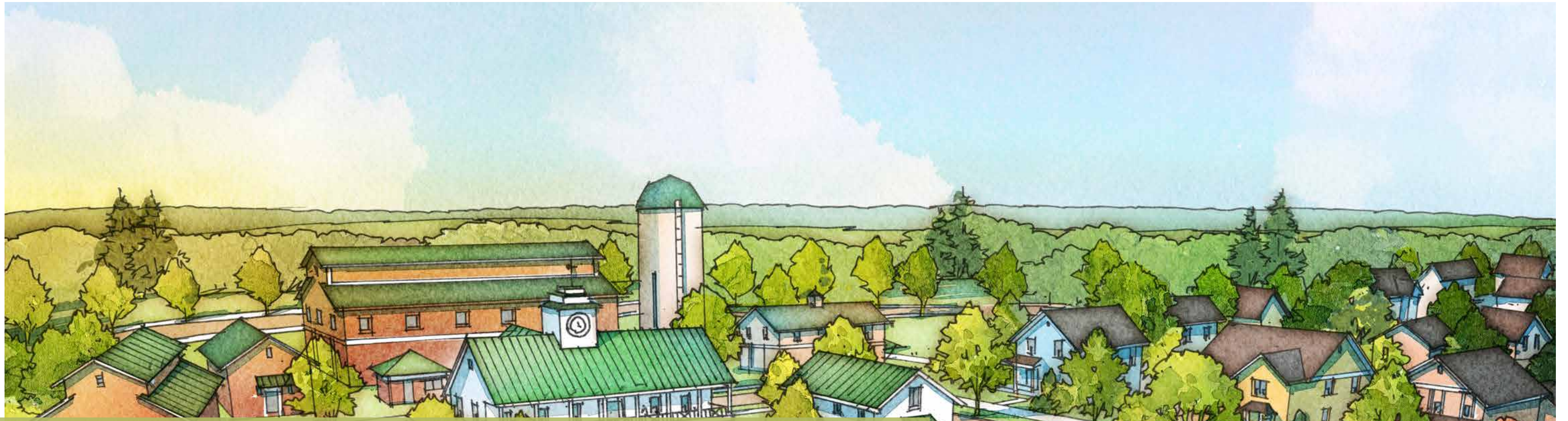
Outdoor Recreation: Recreation-focused hotel and resort. Potential recreational opportunities could include fishing, mountain bike trails, quail hunting, and/or an equestrian center.

The Agricola Property is a large, scenic site with a strong market opportunity to provide a high-quality, “Urban” Magnet hotel product that has not yet come to Clay County. A hotel use on-site will take some time to develop, given somewhat limited visibility and accessibility, and existing entitlements for other sites that are already approved. However, there is growing nationwide and statewide demand for recreation, wellness, or culinary-oriented domestic travel and hospitality. This is a largely untapped hotel orientation in Clay County and the Jacksonville metropolitan area. Given the size, location, and natural beauty of the site, there is strong potential to develop an urban magnet hotel, capitalizing on a combination of outdoor recreation activities, health and wellness services, and a chef-driven restaurant. Once placemaking efforts and outdoor recreational infrastructure has been established on-site, the Agricola Property can support a destination hotel with 100 or more rooms.

First Phase of the “Urban” Magnet theory:

To begin driving demand to the site, the property is looking to host small events that begin bringing patrons to the site--from seasonal events, like a Christmas tree farm, pumpkin patches, and oyster roasts, to more permanent fixtures, like the first phase of retail and farmer’s markets.





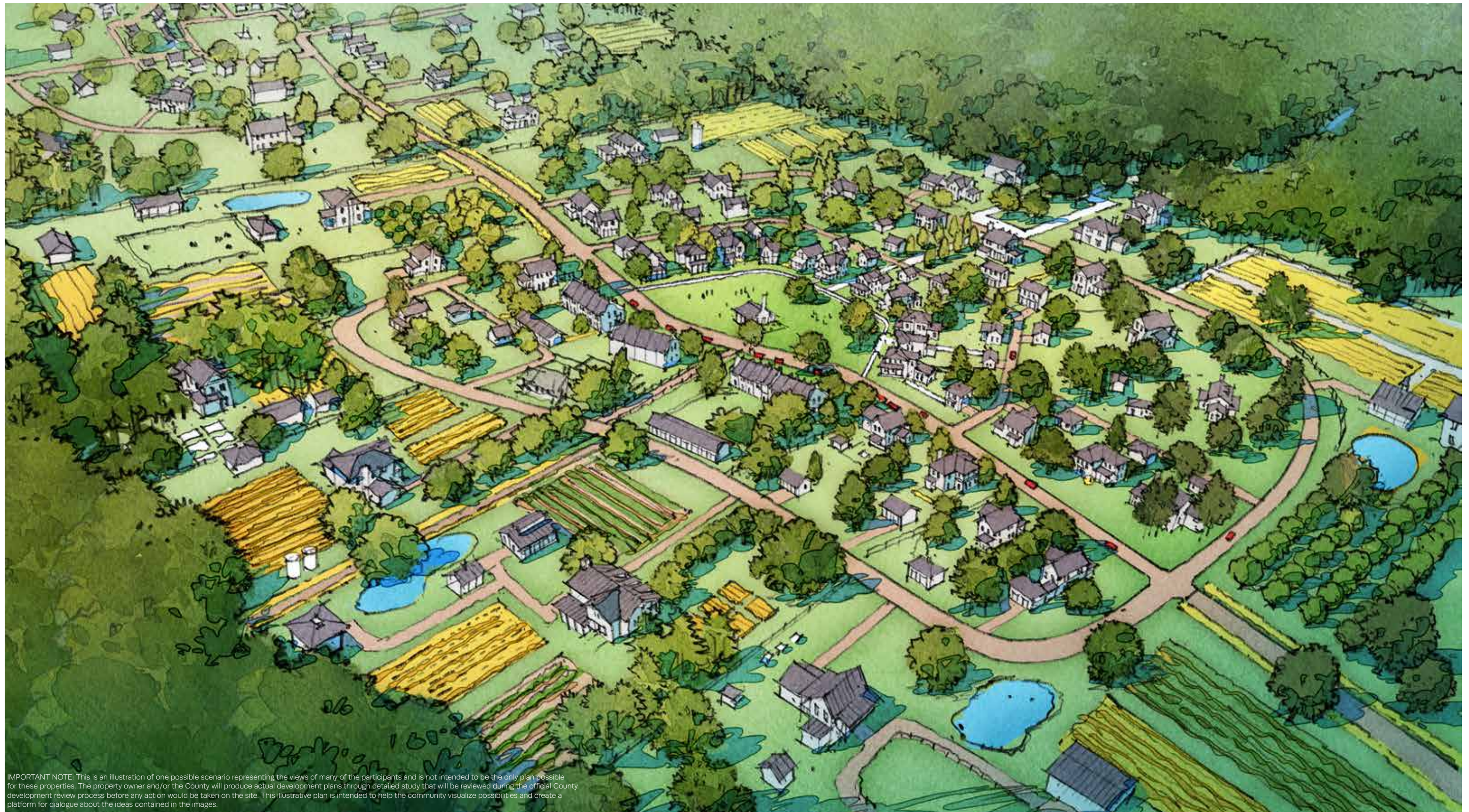
Part 06

CONCEPTUAL RENDERINGS



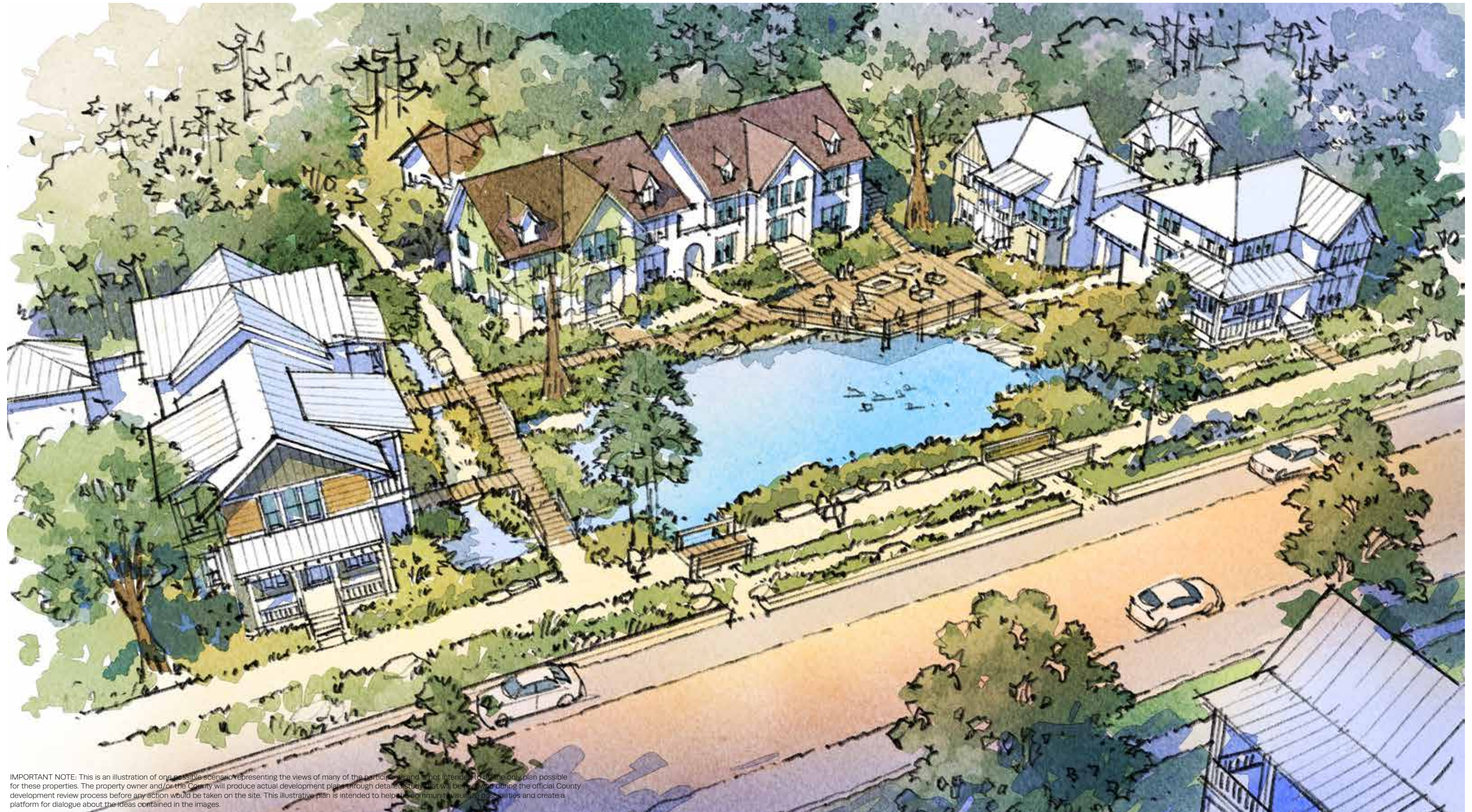
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CONCEPTUAL RENDERINGS: HAMLET



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CONCEPTUAL RENDERINGS: SUSTAINABLE STORMWATER



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CONCEPTUAL RENDERINGS: SPRING RUN



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CONCEPTUAL RENDERINGS: CONTEXT SENSITIVE DESIGN



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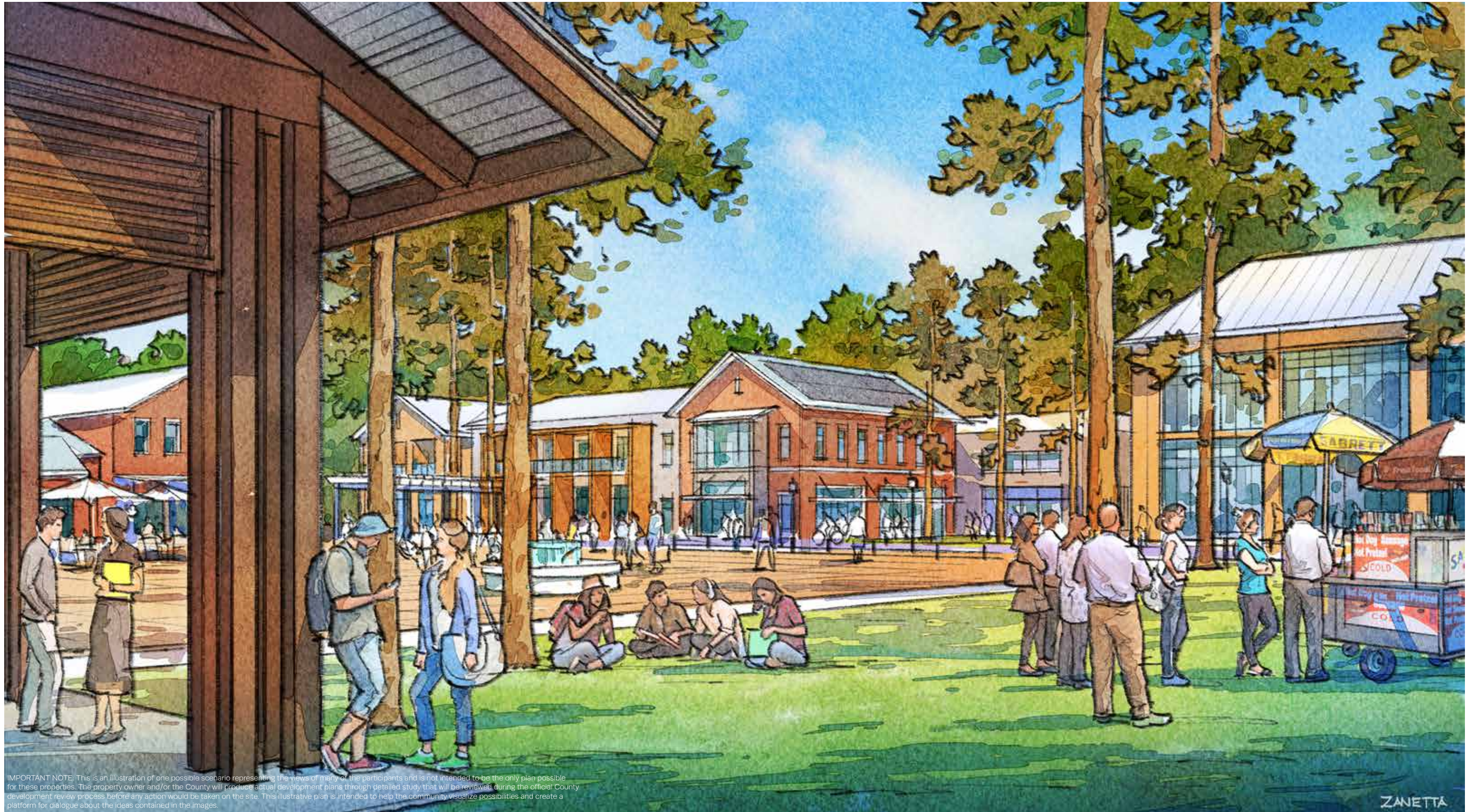
CONCEPTUAL RENDERINGS: CIVIC SPACE



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CONCEPTUAL RENDERINGS: EDUCATION HUB



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Part 07

ARCHITECTURE & PRECEDENT IMAGES

ARCHITECTURE: STATEMENT OF INTENT

The connection to the land is the hallmark of design and landscape architecture of the Agricola Property. Our intention is to reflect the patterns and defining characteristics of Clay County in all respects. From artist cottages to farmhouse estates, a range of housing types and styles will be showcased throughout each node, but all will seamlessly mesh into the fabric of the natural surroundings. A mix of uses will be woven throughout the community as to not disrupt the idyllic farm/rural character. Inspired by the old-American countryside alongside modern features, homes and commercial spaces will bring the outside, indoors. An illusory boundary will be created between nature, the built environment, and sustainable technologies. The essence of earth, air, water, light and greenery will be compounded into the design of everyday life.

Front porches, home gardens, trees will all line the crushed-earth pedestrian pathways to emphasize the traditional, walkable neighborhood concept. This plan will create a harmonious community between neighbors to create a place for life to slow down, memories be made and families to flourish – a place to feel welcomed, known, and valued – Home. Refer to design guidelines and regulatory document



ARCHITECTURAL PRECEDENT IMAGES: SINGLE - FAMILY RESIDENTIAL



ARCHITECTURAL PRECEDENT IMAGES: MULTI-FAMILY RESIDENTIAL



ARCHITECTURAL PRECEDENT IMAGES: COTTAGE COURTS AND MANSION FLATS



ARCHITECTURAL PRECEDENT IMAGES: RESIDENTIAL



ARCHITECTURAL PRECEDENT IMAGES: VILLAGE CENTER



ARCHITECTURAL PRECEDENT IMAGES: INNOVATION HUB



CIVIC SPACE PRECEDENT IMAGES



Civic Space

High-quality civic spaces are vital to any community, functioning as multipurpose areas that provide places for the public to gather and socialize, enjoy the natural environment, and encourage active lifestyles. These civic sites are made up of a variety of public spaces which can include traditional parks, plazas, recreational lakes, spring runs, and ball fields. Some form of civic space is planned to be within a 5-minute walk from each residence.