



BOARD OF ADJUSTMENT MEETING

April 30, 2026

5:00 PM

Administration Building,
4th Floor, BCC Meeting Room, 477 Houston Street,
Green Cove Springs, FL 32043

CALL TO ORDER

APPROVAL OF MINUTES

Board of Adjustment Meeting Minutes December 4, 2025

PUBLIC COMMENT

PUBLIC HEARINGS

1. Public Hearing to Consider BOA 26-0003
A request to defer the installation of the privacy fence required for the perimeter buffer to a date following the Certificate of Occupancy.
2. Public Hearing to Consider BOA 26-0004
A request to exceed the maximum lot coverage by 987 square feet.

PUBLIC COMMENT

ADJOURNMENT

In accordance with the Americans with Disabilities Act, any person needing accommodations to participate in this matter should contact Clay County Risk Management by mail at P.O. Box 1366, Green Cove Springs, Florida 32043, or by telephone at (904) 679-8596, no later than three (3) days prior to the hearing or proceeding for which this notice has been given. Deaf and hard-of-hearing persons can access the telephone number by contacting the Florida Relay Service at 1-800-955-8770 (Voice) or 1-800-955-8771 (TDD).



Agenda Item
BOARD OF ADJUSTMENT

Clay County Administration Building
Thursday, April 30 5:00 PM

TO: Board of
Adjustment
Members

DATE:

FROM:
Recording
Secretary

SUBJECT:

AGENDA ITEM
TYPE:

ATTACHMENTS:

Description	Type	Upload Date	File Name
Meeting Minutes December 4, 2025	Backup Material	4/22/2026	Board_of_Adjustment_Meeting_Minutes_and_Attachments_December_4__2025.ADA_aw.pdf



BOARD OF ADJUSTMENT MEETING MINUTES

December 4, 2025

5:00 PM

Administration Building
4th Floor, BCC Meeting Room
477 Houston Street
Green Cove Springs, FL 32043

CALL TO ORDER

Present: Keith Hadden, Chairman
Tom Goldsbury, Vice-Chairman
Nykki Van Hof
Brian Kraut

Absent: None

Staff Present: Assistant County Attorney Jamie Hovda
Zoning Chief Jenni Bryla

Chairman Keith Hadden called the meeting to order at 5:00 pm.

APPROVAL OF MINUTES

Board of Adjustment Meeting Minutes September 25, 2025.

Vice-Chairman Tom Goldsbury made a motion for approval of the September 25, 2025, BOA Meeting minutes, seconded by Nykki Van Hof, which carried 4-0.

PUBLIC COMMENT

Chairman Keith Hadden opened the floor for public comment at 5:01 pm.

Hearing no comments, Chairman Keith Hadden closed the public comment at 5:01 pm.

PUBLIC HEARINGS

1. Public Hearing to Consider BOA 25-0016

A request to consider a reduction in side setbacks from the required 20' to 9'.6" in the AR Zoning District for the construction of a larger replacement home.

Item One (1) can be seen at [www.claycountygov.com/government/clay-county-tv-and-video-archive/Board of Adjustment/December 4, 2025](http://www.claycountygov.com/government/clay-county-tv-and-video-archive/Board%20of%20Adjustment/December%204,%202025), beginning at 0:47 and ending at 14:45. Below is a summary of the discussion and the vote for this agenda item.

Jenni Bryla, Zoning Chief, presented a PowerPoint presentation for the public hearing to provide details and information to consider BOA-25-0016 as noted above. See

Attachment A.

The Board and staff discussed preserving the current foundation, an existing plat from the subdivision's establishment, side-yard setbacks, zoning, lot sizes, and surrounding parcels.

Doug Fuzzell, (Applicant) 1712 Pickwick Place, Fleming Island, Florida, addressed the Board to provide more details and information regarding the requested variance, mentioned there has been no opposition from neighbors, and answered questions from the Board.

The Board and the applicant had more discussion regarding landscaping and the intent for the variance.

Chairman Keith Hadden opened the floor for the public hearing at 5:14 pm.

Hearing no comments, Chairman Keith Hadden closed the public hearing at 5:14 pm.

Tom Goldsbury made a motion for approval of BOA-25-0016, seconded by Brian Kraut, which carried 3-1, with Nykki Van Hof in opposition.

2. Public Hearing to Consider BOA 25-0017

A request to consider a reduction in side setbacks from the required 10' to 9' in the RA Zoning District for the purpose of an ADA accessible bathroom addition.

Item Two (2) can be seen at [www.claycountygov.com/government/clay-county-tv-and-video-archive/Board of Adjustment/December 4, 2025](http://www.claycountygov.com/government/clay-county-tv-and-video-archive/Board%20of%20Adjustment/December%204,%202025), beginning at 14:57 and ending at 31:32. Below is a summary of the discussion and the vote for this agenda item.

Jenni Bryla, Zoning Chief, presented a PowerPoint presentation for the public hearing to provide details and information to consider BOA-25-0017 as noted above. See Attachment B.

There were questions and discussions regarding lot size, setbacks, and zoning.

John Wagner and Heather Marsh, 1857 Osprey Bluff Boulevard, Fleming Island, Florida, addressed the Board to provide more details and information regarding the requested variance and answer questions from the Board.

The Board, staff, and applicant had further discussion regarding an invoice received and the patio vs. the house slab.

Chairman Keith Hadden opened the floor for the public hearing at 5:29 pm.

Hearing no comments, Chairman Keith Hadden closed the public hearing at 5:29 pm.

Vice-Chairman Tom Goldsbury had comments for reasons to support the request, and made a motion for approval of BOA-25-0017, seconded by Nykki Van Hof, which carried 4-0.

PUBLIC COMMENT

There was no public comment.

ADJOURNMENT

There was a brief discussion regarding the date for the next meeting, filling the vacancy, recognizing Brandon Ludwig for his service on the Board, and future items for review.

Hearing no further business, Chairman Keith Hadden adjourned the meeting at 5:33 pm.

Attest:

Committee Chairman

Recording Deputy Clerk

Attachment
“A”
BOA-25-0016



BOARD OF ADJUSTMENT

BOA 25-0016

Public Hearing

December 4, 2025

APPLICATION INFORMATION

Applicant: Douglas & Judy Fuzzell
Agent: N/A
Location: 1712 Pickwick Place, Fleming Island, FL 32003
Request: Variance to the Ordinance 93-16 Section 13-16(f)(5), to allow a side setback reduction from 20' to 9.5'.



Aerial

Background

The parcel is located in the Oak Park Subdivision on the east side of Swimming Pen Drive. The home was built in 1970 prior to zoning in the County. The existing home currently has 9.5' side setbacks. As such, the parcel would fall under the direction of code section 13-11(d) *non-conforming structures* (2), which says a non-conforming structure may exist but if more than 60% of the structure is removed, it shall be constructed in conformity with the current code.

The Applicant would like to tear down the existing home and build a new one. The existing home is at a 9.5' side setback as will the proposed home, this placement is consistent with the pattern of development along swimming pen. Although Staff finds no hardship exists with the land that is not shared with other properties within the adjacent zoning district Staff does recognize the homes were built before zoning and to develop inconsistently with the established development pattern would bestow on the applicant an undue hardship.

Conditions for a Variance

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands structures, or buildings in the same zoning district.

The residence is located within the Oak Park Plat on which essentially all of the lots are approximately 80' wide. The minimum lot width for the AR zoning district is currently 100'. These properties appear to all have been built with a narrow setback. So although there is nothing peculiar to this lot that would prevent them from building at the 20' side setback, it is not the norm in the neighborhood

That the special conditions and circumstances do not result from the actions of the applicant.

The existing residential structure was built in 1970 before zoning was established. The applicant would like to upgrade the home and therefore he would be responsible for not adhering to the code

That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings, or structures in the same zoning district.

The granting of the variance will confer on the applicant a privilege denied to other properties in the Agricultural/Residential zoning district by reducing the side setback from 20' to 9.5'.

Conditions for a Variance

That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by the other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant.

The literal interpretation of the ordinance would not deprive the applicant of rights commonly enjoyed by other property owners within the AR zoning district, it would however deprive the applicant of provisions enjoyed by others in the Oak Park plat.

That the variance granted is the minimum variance that will make possible the beneficial use of the land, building or structure.

The requested variance to decrease the side setbacks is the minimum variance to allow for the construction of a new home consistent with the patterns along the street.

That the granting of the variance will be in harmony with the general intent and purposes of these ordinances and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The granting of the variance will be in harmony with the general intent of the land development code by mimicking the historic pattern of development throughout the neighborhood.

Recommendation

Staff finds that the requested variance to reduce the side setback of 20' to 9.5' is consistent with the Land Development Code.

Staff recommends approval of the request to allow the reduction in the side setback.

QUESTIONS

Attachment
“B”
BOA-25-0017



BOARD OF ADJUSTMENT

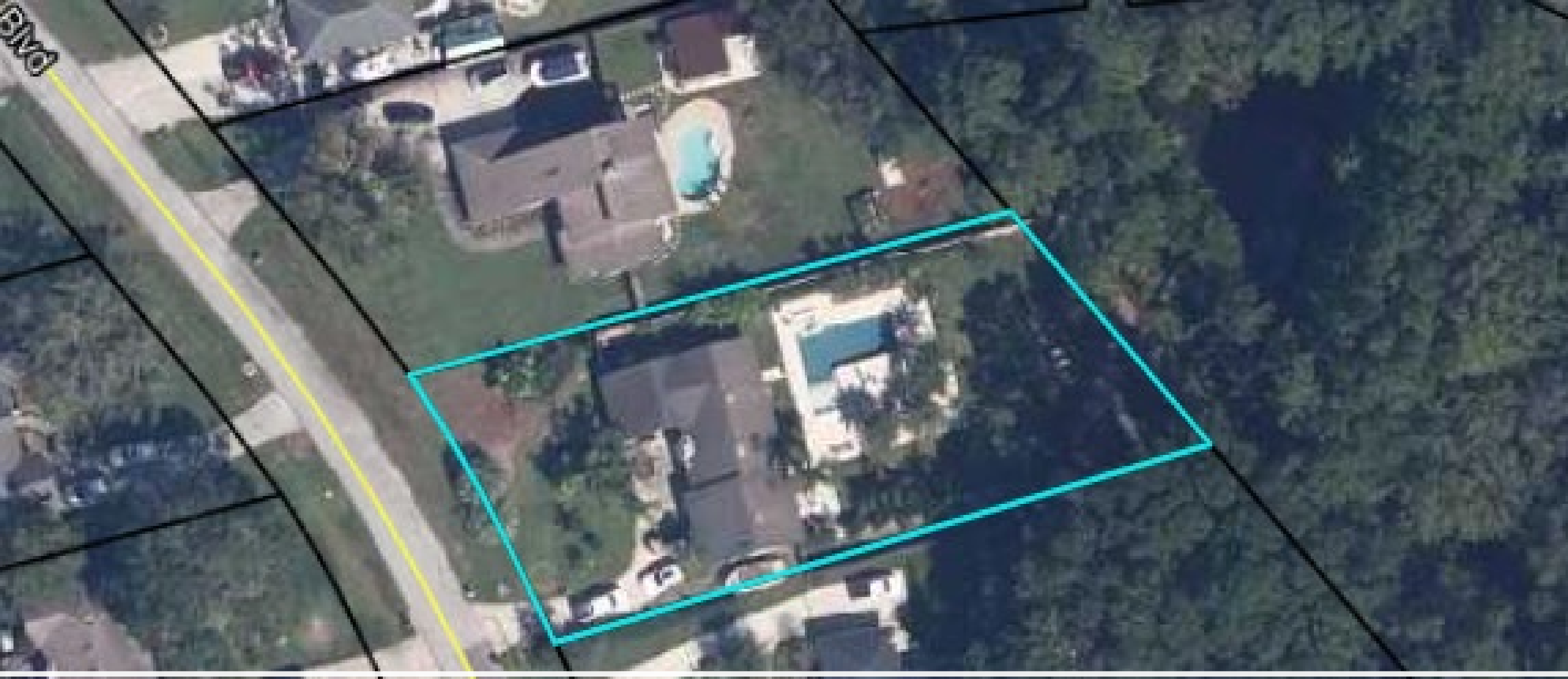
BOA 25-0017

Public Hearing

December 4, 2025

APPLICATION INFORMATION

Applicant: John Wagner
Agent: N/A
Location: 1857 Osprey Bluff Blvd., Fleming Island, FL 32003
Request: Variance to the Ordinance **93-16** Section 13-16(f)(4), to allow a side setback reduction from 10' to 9'.

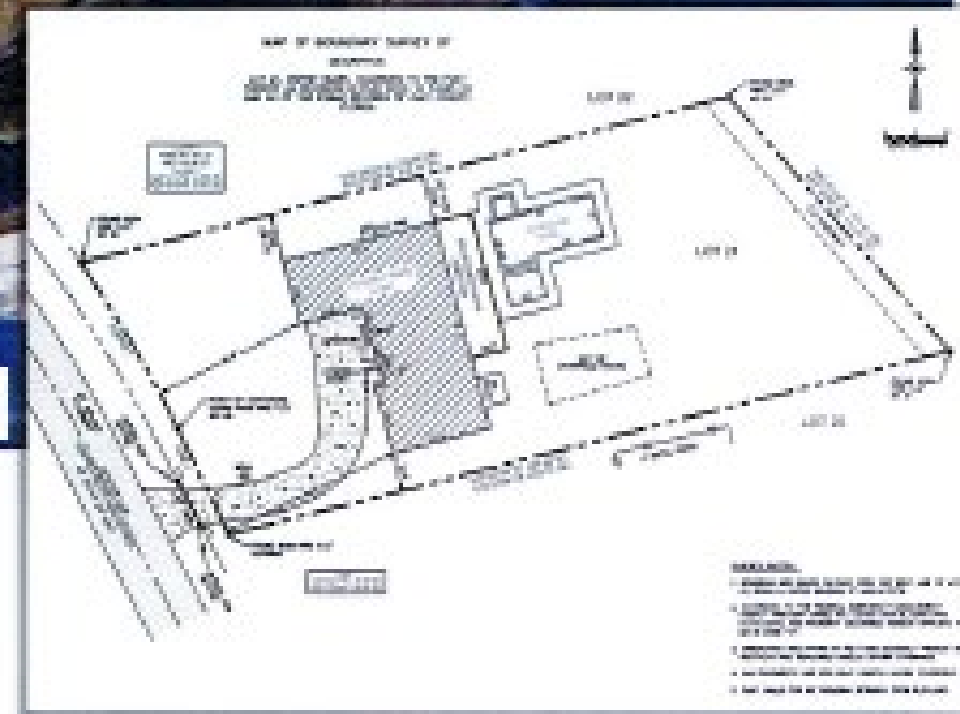
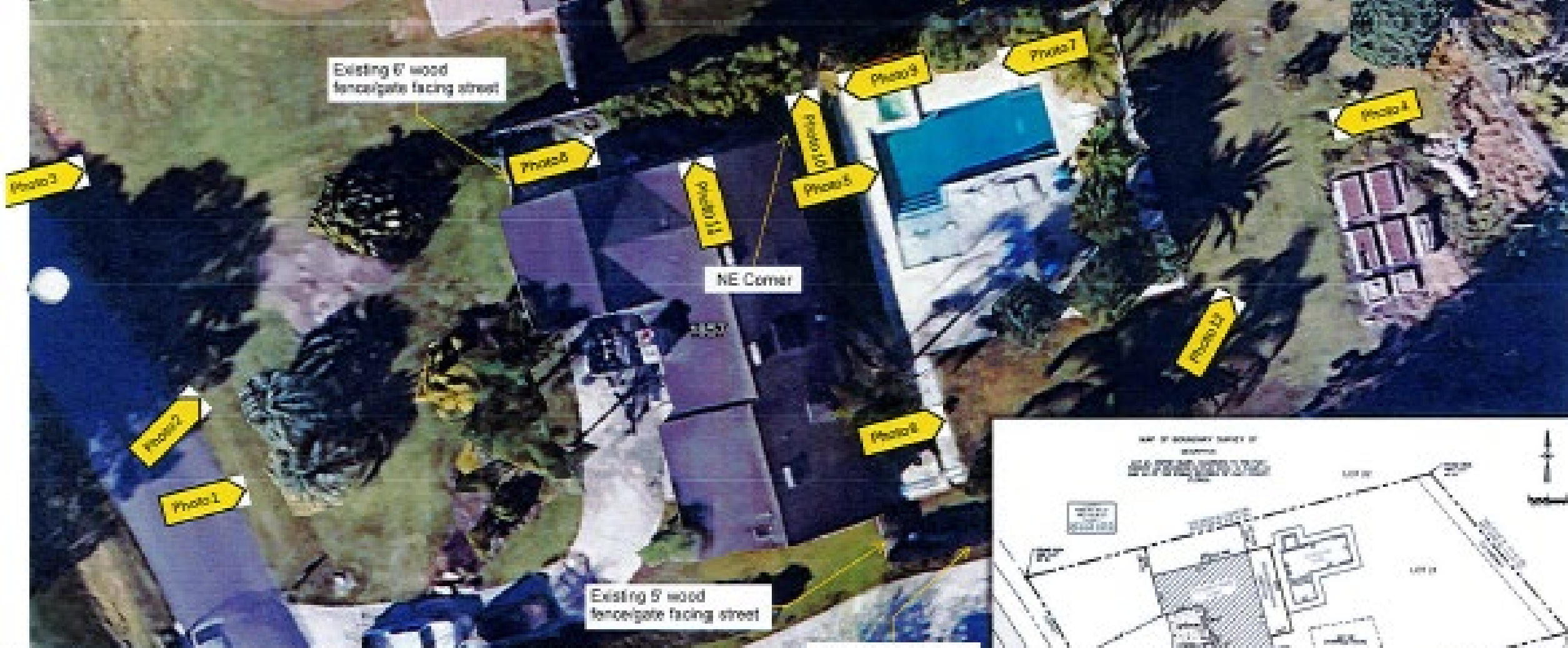


Aerial

Background

The parcel is located in Fleming Island, south of CR 220 and east of Swimming Pen Creek. The neighborhood was developed with 40 single family lots in 1981 as evidenced by the plat. The subject parcel is lot 21, located on the east side of the plat. The applicant is requesting a one foot deviation from the side setbacks to incorporate a full bathroom on the west side of the existing home.

The applicant is saying that because of the construction methods previously established with the home's foundation, it is impossible to build the lavatory inside the home. After consultation with the Building Division, this is not the reality. The home is a 4-bedroom, 3 full bath home.



Helical Screw Pile supporting Turn-down Slab-on-Grade at NE corner (typical of 8)

Turn-down Slab-on-Grade where it meets foundation wall on East wall 21' from NE corner

Existing 6' wood fence along Property Line

Conditions for a Variance

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands structures, or buildings in the same zoning district.

The residence is located within the Osprey Bluff Plat on which essentially all of the lots are approximately 100' wide. The minimum lot width for the RA zoning district is currently 100'. These properties appear to all have been built with a correct setback. There is nothing that is unique in this subdivision that is not shared with other RA zoning districts.

That the special conditions and circumstances do not result from the actions of the applicant.

The existing residential structure was built in 1986 and was built compliant with the development codes. Although the home may have been built with a different foundational method, it does not prohibit the applicant from meeting the current codes.

That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings, or structures in the same zoning district.

The granting of the variance will confer on the Applicant a privilege denied to other properties that have built structures and have been able to meet the requirements of the zoning district

Conditions for a Variance

That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by the other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant.

The literal interpretation of the ordinance would not deprive the applicant of rights commonly enjoyed by other property owners within the RA zoning district. The current residential structure has 4 bedrooms and 3 full baths.

That the variance granted is the minimum variance that will make possible the beneficial use of the land, building or structure.

The requested variance to decrease the side setbacks is the minimum variance to allow for the construction of a new bathroom.

That the granting of the variance will be in harmony with the general intent and purposes of these ordinances and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The granting of the variance will not be in harmony with the general intent of the land development code. Side setbacks are necessary to provide relief along the street and between homesteads.

Recommendation

Staff finds that the requested variance to reduce the side setback of 10' to 9' is not consistent with the Land Development Code.

Staff recommends denial of the request to allow the reduction in the side setback.

QUESTIONS



Agenda Item
BOARD OF ADJUSTMENT

Clay County Administration Building
Thursday, April 30 5:00 PM

TO: Board of Adjustment Members

DATE:

FROM: Beth Carson, Director, Planning and
Zoning

SUBJECT: A request to defer the installation of the privacy fence required for the perimeter buffer to a date following the Certificate of Occupancy.

AGENDA ITEM TYPE:

BACKGROUND INFORMATION:

The parcel is located on the east side of Springbank Road, Green Cove Springs.

Planning Requirements:

Public Hearing Required (Yes\No):

Hearing Type:

Initiated By: Applicant

John Russell Williams for Grace Missionary Baptist Church

ATTACHMENTS:

Description	Type	Upload Date	File Name
Application	Backup Material	4/23/2026	Application_for_Variance_with_attachments_v1.ADA_aw.pdf
Approved Site Plan	Backup Material	4/23/2026	APPROVED_GRACE_MISSIONARY_BAPTIST_CHURCH_SITE_PLANS.ADA_aw.pdf
BOA 26-0003 Staff Report	Backup Material	4/23/2026	BOA_26-0004_STAFF_Report.ADA_aw.pdf



Department of Economic and Development Services

Planning & Zoning Division

P.O. Box 1366, Green Cove Springs, FL 32043

Phone: (904) 284-6300

www.claycountygov.com



BOARD OF ADJUSTMENT APPLICATION

Owner's Name: John Russell Williams for Grace Missionary Baptist Church

Owner's Address: 2770 Rosebay Dr.

City: Orange Park

State: FL

Zip Code: 32065

Phone: 904-838-6460

Email: rusty@fanfloors.com

Parcel Information

Parcel ID #: 30-06-26-015632-001-00

Check here if Address is Same as Owner's

Parcel Address: 4489 Springbank Rd Green Cove Springs, Florida 32043

Authorized Agent Information (If Applicable)

Agent's Name: John Russell Williams

Agent's Address: 2770 Rosebay Dr.

City: Orange Park

State: FL

Zip Code: 32065

Phone: 904-838-6460

Email: rusty@fanfloors.com

Check here that the Owner's Agent Authorization Form has been Completed & will be filed with this Application

Nature of the Variance / Appeal Request

Please describe the request or appeal. Include the Section of the Code from which a variance is requested.

My name is John Russell Williams, and I serve as Pastor of Grace Missionary Baptist Church, located at 4489 Springbank Road, Green Cove Springs, Florida 32043. We have recently moved into our new sanctuary under a Temporary Certificate of Occupancy and are working toward obtaining our final Certificate of Occupancy. At present, we are delayed due to outstanding landscaping requirements. While our general contractor is addressing most of the remaining items, the approved privacy fence is the responsibility of the church to complete. Due to project overruns in both time and budget, we are respectfully requesting consideration of a variance in Section 12-9 that would allow us to defer installation of the privacy fence to a later date. The new building is situated in the center of our four-acre property and benefits from an existing natural buffer along the boundary in question. We would sincerely appreciate your consideration of this request and are happy to provide any additional information you may need. Thank you for your time and assistance.

County Manager: Howard Wanamaker

District 1
John Sgromolo

District 2
Alexandra Compere

District 3
Jim Renninger

District 4
Betsy Condon

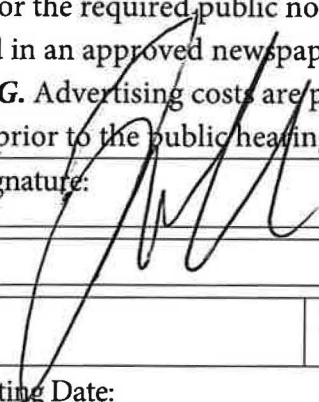
District 5
Dr. Kristen Burke

Required Attachments

I have provided the required attachments: Property Deed with Legal Description Survey
 Agent Authorization if applicable

Applicant Certification

I, hereby, certify that I am the Owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to, and made a part of this application, are accurate and true to the best of my knowledge and belief. Furthermore, if the package is found inconsistent with the above requirements, I understand that the application will be returned for correct information. I hereby acknowledge that the variance requested is my choice and have reviewed and agreed to all conditions listed in this application and the requirements in Article XII (12-10) of the Clay County Land Development Code. I also understand that the fees paid are non-refundable. For public notification, I acknowledge that the required SIGN(S) must be posted on the property by the Owner or Agent twenty-one (21) days in advance of the date of the public hearing. **The sign(s) may be removed only after final action of the Board of Adjustment and Appeals and must be removed within ten (10) days of such action.** I must also pay for the required public notice stating the nature of the proposed request which is required to be published in an approved newspaper **AT LEAST FIFTEEN (15) DAYS IN ADVANCE OF THE PUBLIC HEARING.** Advertising costs are payable by the applicant directly to the newspaper. Proof of publication is required prior to the public hearing.

Owner Signature: 

Date: 2/25/2026

Print Name: John Russell Williams

Official Use

Zoning:

Land Use:

Application # BOA:

BOA Meeting Date:

Fees: Residential (\$300.00) Non-Residential (\$500.00)

of Signs _____ x \$30.00 Per Sign = \$ _____

Total Fee: \$ _____

Application Accepted By:

Date:

This area is reserved for future use.



Department of Economic and Development Services
Planning & Zoning Division

P.O. Box 1366, Green Cove Springs, FL 32043
Phone: (904) 284-6300
www.claycountygov.com



PROPERTY OWNERSHIP AFFIDAVIT

Date:

Clay County Board of County Commissioners

Division of Planning & Zoning

Attn: Zoning Chief

P.O. Box 1366

Green Cove Springs, FL 32043

Re: Certification of Ownership

To Whom it May Concern:

I, **John Russell Williams**

_____ hereby certify and affirm that I am the Owner of the property described in the address and parcel number noted in the application for Grace Missionary Baptist Church

Owner's Electronic Submission Statement: Under the penalty or perjury, I declare that all information contained in this affidavit is true and correct.

I hereby certify that I have read and examined this affidavit and know the same to be complete and correct.

Signature of Owner:

Date:

John Russell Williams

Printed Name of Owner:

Sworn to and subscribed before me this 25 day of Feb A.D. 20 26

Personally, known or produced identification.

Type of identification produced _____ and number (#): _____

Signature of Notary

Date:



CFN # 2016023607, OR BK: 3857 PG: 1600, Pages1 / 2, Recorded 5/16/2016 11:00 AM, Doc: D
 TARA S. GREEN Clerk Circuit Court, Clay County, FL Rec: \$18.50 Doc D: \$350.00
 Deputy Clerk HAMPSHIRET

Prepared by:
 Tanya M. LaFary
 Intrust Title & Escrow, Inc.
 3555 U.S. Highway 17, Suite 5
 Fleming Island, Florida 32003

File Number: 16-057/10
 Purchase Price: \$50,000.00

General Warranty Deed

Made this 13th day of May, 2016 A.D. by Thomas E. Alexander and Mary E. Alexander, husband and wife, hereinafter called the grantor, to Grace Missionary Baptist Church, Inc., a Florida Corporation, whose post office address is: 4411 Springbank Road, Green Cove Springs, Florida 32043, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in CLAY County, Florida, viz:

That certain piece, parcel or tract of land situate, lying and being in the County of Clay, State of Florida, to-wit:

For a point of reference commence at the Southeast corner of the East 1/2 of the Southeast 1/4 of the Northwest 1/4 of Section 30, Township 6 South, Range 26 East and run North along the East line thereof 550 to the Point of Beginning; thence continue North 402 feet; thence West 222 feet, more or less, to the Easterly line of Spring Bank Road (S-315); thence Southwesterly along said Easterly line 428 feet, more or less to a Point which bears due West from the Point of Beginning; thence East 390 feet, more or less, to the Point of Beginning, being the same Property described in official Records Book 106, Page 103, Public Records of Clay County, Florida.

Parcel ID Number: 30-06-26-015632-001-00

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2015.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

SIGNATURES ON THE FOLLOWING PAGE

DFED Individual Warranty Deed - Legal on Face

BK: 3857 PG: 1601

Prepared by:
Tanya M. LaFary
Intrust Title & Escrow, Inc.
3555 U.S. Highway 17, Suite 5
Fleming Island, Florida 32003

File Number: 16-057/10
Purchase Price: \$50,000.00

Signed, sealed and delivered in our presence:

Tanya M. LaFary
Witness Printed Name Tanya M. LaFary

Sherri L. Lester
Witness Printed Name Sherri L. Lester

Thomas E. Alexander (Seal)
Thomas E. Alexander
Address: 422 Upper Sand Valley Rd.,
Jonesborough, TN 37659

Mary E. Alexander (Seal)
Mary E. Alexander
Address: 422 Upper Sand Valley Rd.,
Jonesborough, TN 37659

State of FLORIDA
County of CLAY

The foregoing instrument was acknowledged before me this 13th day of May, 2016, by Thomas E. Alexander and Mary E. Alexander, husband and wife, who are personally known to me or who have produced Tennessee DL as identification.

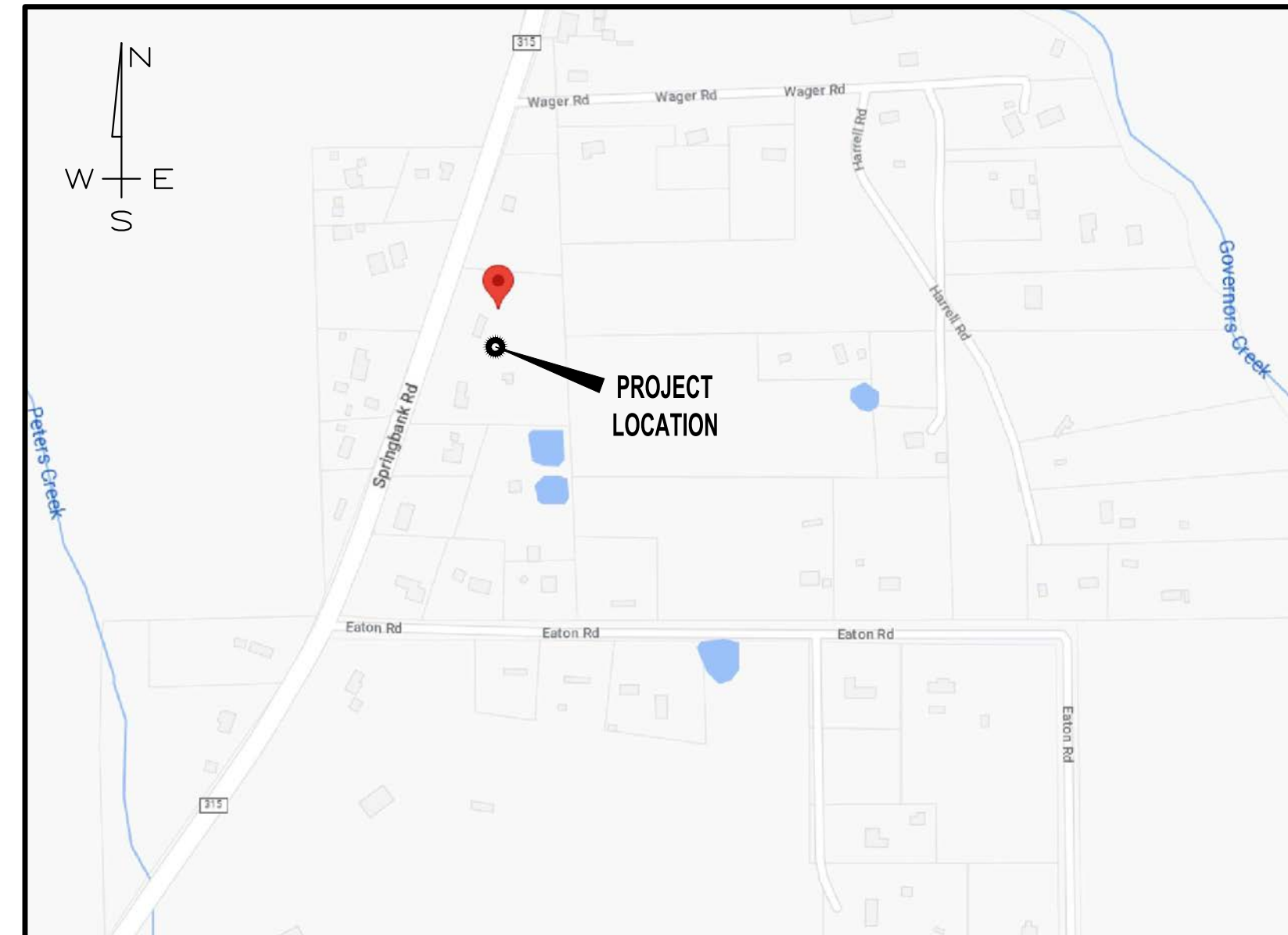


Tanya M. LaFary
Notary Public
Print Name: Tanya M. LaFary
My Commission Expires: 2-26-17

DEED Individual Warranty Deed - Legal on Face

GRACE MISSIONARY BAPTIST CHURCH

4489 SPRINGBANK RD. | GREEN COVE SPRINGS, FL 32043



VICINITY MAP
N.T.S.

SHEET INDEX

C1	COVER SHEET	L-1	LANDSCAPE PLAN
C2	EXISTING CONDITIONS	L-2	TREE MITIGATION PLAN
C3	DEMOLITION / SWPPP PLAN	L-3	IRRIGATION PLAN
C4	SITE PLAN		
C5	DETAIL SHEET		

SITE INFORMATION

OWNER/DEVELOPER

PASTOR JOHN WILLIAMS
GRACE MISSIONARY BAPTIST CHURCH
4411 SPRINGBANK ROAD
POST OFFICE BOX 1126
GREEN COVE SPRINGS, FL 32043
EMAIL: SARBUCONST@BELLSOUTH.NET

SURVEYOR

HAROLD T. EILAND
EILAND & ASSOCIATES, INC.
PROFESSIONAL SURVEYORS & MAPPERS
615 BLANDING BOULEVARD
ORANGE PARK, FL 32073
PHONE: 904-272-1000
EMAIL: TRACY@EILANDSURVEYING.COM

ENGINEER

WILLIAM E. (ED) TULLY, III, P.E.
WILLIAM E. (ED) TULLY, III, INC.
10265 QUAIL RIDGE DRIVE
PONTE VEDRA, FL 32081
PHONE: 904-994-9578
FAX: 904-824-9305
EMAIL: ETULLYIII@GMAIL.COM

LANDSCAPE ARCHITECT

MIKE DONNELL
DONNELL LANDSCAPE DESIGN, INC.
5617 SALERNO ROAD
JACKSONVILLE, FL 32244
CELL: 904-333-2342
EMAIL: DONNELLANDSCAPE@HOTMAIL.COM

DESIGN BASED ON CLAY COUNTY STANDARDS

GENERAL PROJECT INFORMATION

GENERAL	
PARCEL Number	30-06-26-015632-001-00
Zoning Designation	PS1
PUD Ordinance Number	N/A
FLOOD ZONE DATA	12019C0280E
Flood Zones (Show in Plans)	"X"
Base Flood Elev. (Show in Plans)	N/A
Vertical Datum Used for Project	NAVD 1988

SUBDIVISION	
PSD Number	
City or Private Inspection	
Public or Private Roads	
Subdivision ("911") Disk Provided?	

NON-SUBDIVISION	
North American Industry Classification System (NAICS)	813110
Impervious Area (Sq. Ft.)	30,684 SF

GRACE MISSIONARY BAPTIST CHURCH
4489 SPRINGBANK RD | GREEN COVE SPRINGS, FL

COVER

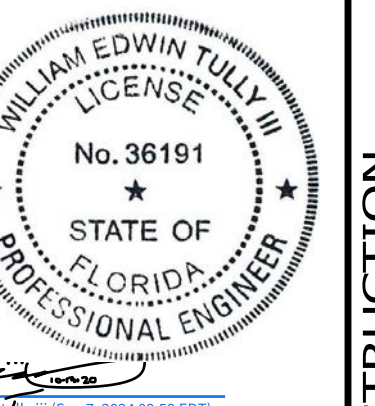
WILLIAM E. (ED) TULLY III, INC.

(904) 994-9578; Email: etullyiii@gmail.com
Consulting Civil Engineer, FL Reg. P.E. # 36191
10625 Quail Ridge Drive - Ponte Vedra, FL 32081
Certificate of Authorization # 4576

Not valid unless embossed by a seal.

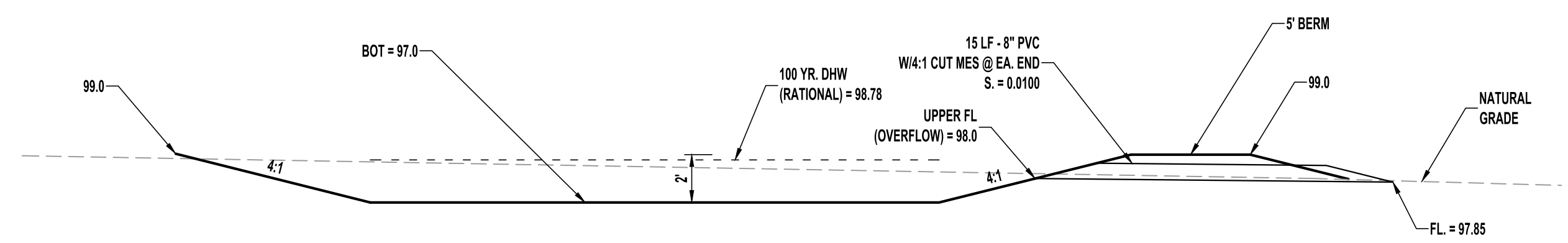
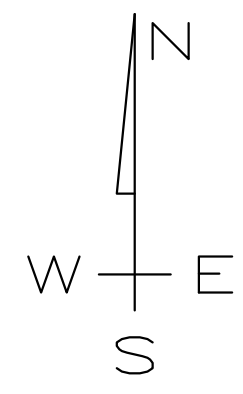
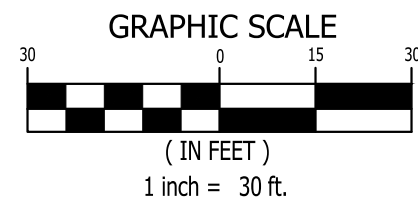
Revisions	Date	By
PER CLAY COUNTY DRC	8/14/23	D/AF
PER CLAY COUNTY DRC	7/27/24	D/AF
PER CLAY COUNTY DRC	9/2/24	D/AF

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY WILLIAM EDWIN TULLY III ON THE DATE INDICATED TO THE SEAL USING A SECURE HASH ALGORITHM (SHA) AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



Date	09-07-22
Scale	1" = 30'
Drawn	DAF
Checked By	WET
Job	22-018
Sheet	C1





DRY DETENTION POND SECTION 'A-A'
SCALE: 1" = 10'

PROPOSED SITE STATISTICS

	SQUARE FEET	ACRES	PERCENT OF SITE
SITE AREA	150,756	3.46	100.0%
BUILDING AREA	5,440	0.12	3.6%
GRAVEL AREA	20,055	0.46	13.3%
CONCRETE AREA	5,261	0.12	3.5%
TOTAL IMPERVIOUS AREA	30,756	0.71	20.4%
TOTAL GREEN AREA	120,000	2.75	79.6%

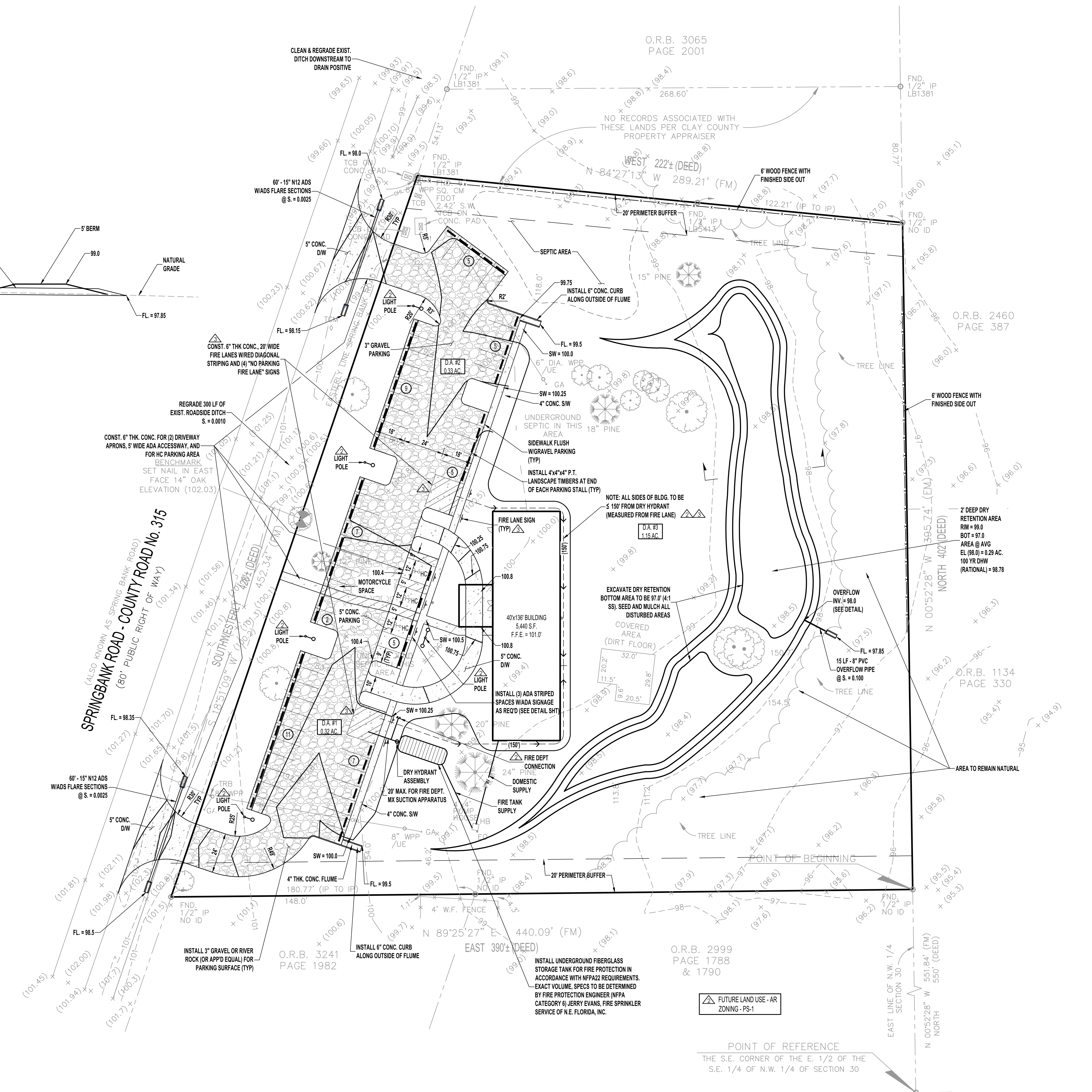
PARKING SUMMARY

PARKING REQD: 171 SEATS / 3 = 57 SP.
 PARKING PROVIDED:
 53 SPACES @ 9'x18'
 1 SPACE @ 5'x18' (MOTORCYCLE PARKING)
 3 SPACES @ 12'x18' (HANDICAP)
 57 SPACES TOTAL

- NOTE:
 1. APPLICANT TO CONTRIBUTE INTO SIDEWALK FUND PER CLAY COUNTY REQUIREMENTS.
 2. CONTRACTOR TO OBTAIN SEPARATE PERMIT FROM CLAY COUNTY FOR ALL WORK IN R/W.

BEFORE YOU DIG!
 CALL SUNSHINE STATE ONE CALL OF FLORIDA
 AT LEAST TWO FULL BUSINESS DAYS BEFORE
 DIGGING OR DISTURBING EARTH

Know what's below.
 Call before you dig.
 1-800-432-4770



O.R.B. 3065
PAGE 2001

O.R.B. 2460
PAGE 387

O.R.B. 1134
PAGE 330

O.R.B. 3241
PAGE 1982

O.R.B. 2999
PAGE 1788
& 1790

WILLIAM E. (ED) TULLY III, INC.
 (904) 994-9578; Email: etullyiii@gmail.com
 Consulting Civil Engineer, FL Reg. P.E. # 36191
 10625 Quail Ridge Drive - Ponte Vedra, FL 32081
 Certificate of Authorization # 4576

Revisions	Date	By
PER CLAY COUNTY DRC	8/14/24	DAF
PER CLAY COUNTY DRC	7/29/24	DAF
PER CLAY COUNTY DRC	9/20/24	DAF

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY WILLIAM EDWIN TULLY III ON THE DATE INDICATED TO THE SEAL USING A SECURE HASH ALGORITHM (SHA) AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Date	09-07-22
Scale	1" = 30'
Drawn	DAF
Checked By	WET
Job	22-018
Sheet	C4

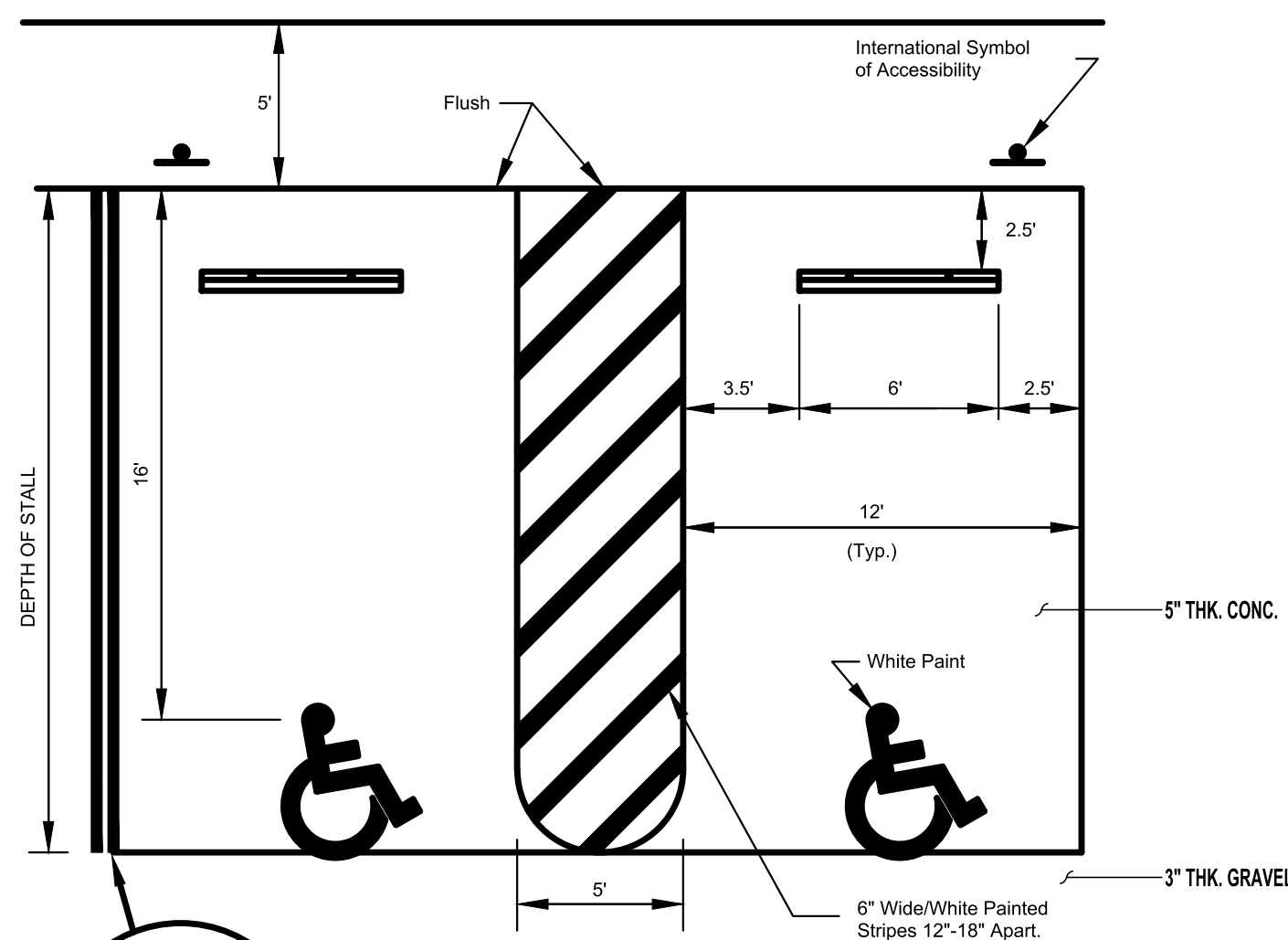
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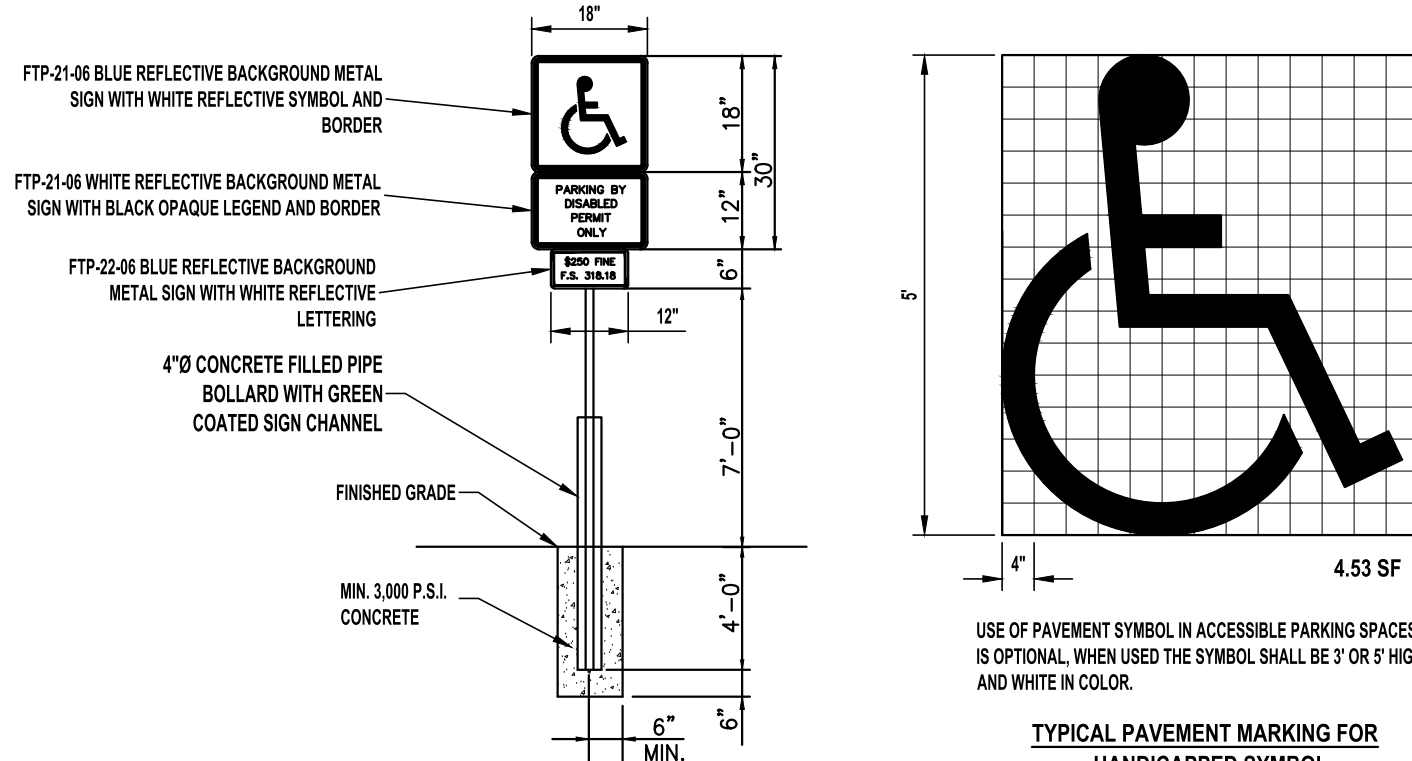
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GRADING AND DRAINAGE NOTES

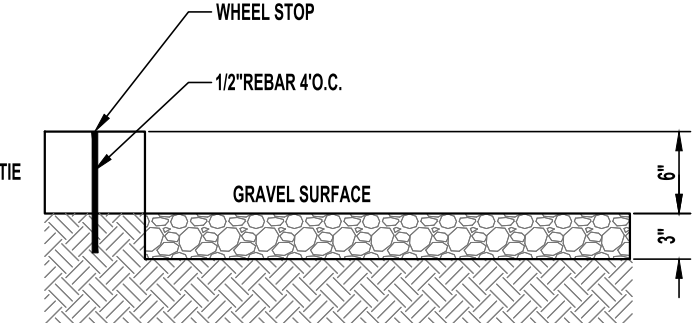
- BOUNDARY, TOPOGRAPHICAL AND PROTECTED TREE LOCATIONS PROVIDED BY: ELAND & ASSOCIATES, INC., (894) 272-1000.
- FOR SITEMARK REQUIREMENTS PLEASE REFER TO GEOTECHNICAL REPORT PREPARED BY LEGACY ENGINEERING REPORT NO. 22-1198.1
- CONTRACTOR TO ENSURE THAT THE LATEST APPROVED SETS OF CONSTRUCTION DRAWINGS/COPIES OF PERMITS ARE BEING UTILIZED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- NEW DRIVEWAYS PROPOSED IN CLAY COUNTY RIGHT-OF-WAY MUST CONFORM TO CLAY COUNTY STANDARDS. CONTRACTOR TO CONTACT CLAY COUNTY PUBLIC WORKS DEPARTMENT TO OBTAIN A RIGHT-OF-WAY PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- HANDICAP RAMPS, SPACES AND SIGNAGE TO CONFORM WITH ANSI, CLAY COUNTY AND STATE STANDARDS REGARDING HANDICAP ACCESS.
- SUB-GRADE: SUB-SURFACE HAS BEEN INVESTIGATED ONLY AS SHOWN. PAVEMENT SUB-GRADE SHALL HAVE ALL UNSUITABLE MATERIAL REMOVED TO A DEPTH OF 3 FEET BELOW SUB-GRADE AND 2.5 FEET BEYOND BACK OF CURB. BACKFILL WITH SUITABLE MATERIAL.
- ALL CONCRETE FOR CURB AND GUTTER AND SIDEWALKS SHALL BE A MINIMUM STRENGTH OF 3,000 p.s.i. WITH A MAXIMUM SLUMP OF 4 INCHES.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS TO ENGINEER FOR ALL STRUCTURES PRIOR TO ORDERING.
- ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO PREPARATION OF SUB-GRADE FOR PAVEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF EXISTING UTILITIES AND SHALL EXERCISE EXTREME CAUTION WHILE WORKING IN AREAS NEAR EXISTING STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL REPAIR OR PAY FOR ALL DAMAGES MADE TO EXISTING STRUCTURES AND UTILITIES.
- THE CONTRACTOR MUST OBTAIN ALL PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL PERMITS MUST BE KEPT ON CONSTRUCTION SITE AT ALL TIMES AS REQUIRED.
- UNSUITABLE MATERIAL ENCOUNTERED SHALL BE LEGALLY DISPOSED OF OFFSITE AT THE CONTRACTOR'S EXPENSE OR DEPOSITED IN PROPOSED LANDSCAPE/BERM AREAS AS IS FEASIBLE.
- CONTRACTOR SHALL VERIFY EXISTING PAVEMENT AND BUILDING LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- STRUCTURAL FILL REQUIRED FOR ROADWAY EMBANKMENTS SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 12 INCHES IN THICKNESS AND SHALL BE COMPACTED TO DENSITIES EQUIVALENT TO 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557, 2% OF THE MOISTURE CONTENT. STRUCTURAL FILL IS DEFINED AS NON-PLASTIC, INORGANIC (CONTAINING LESS THAN 10% MATERIAL PASSING THE NO. 200 MESH SIEVE) (I.E. RELATIVELY CLEAN SAND).
- CONTRACTOR MUST PROVIDE CERTIFIED TEST RESULTS OF THE DEGREE OF COMPACTION OF THE SUB-GRADE AND THE BASE FROM AN INDEPENDENT QUALIFIED TEST LABORATORY.
- DURING CONSTRUCTION, CONTRACTOR TO PLACE HAY BALES AND SILT CURTAINS AT ALL DOWNSTREAM DISCHARGE POINTS UNTIL CONSTRUCTION IS COMPLETE AND SEEDSOOD HAS STABILIZED THE SOIL TO AVOID SILTATION AND TURBIDITY IN ACCORDANCE WITH FLORIDA STREAM STANDARDS.
- CONTRACTOR MUST CONTACT U.C.C.E. AT 1-800-432-4770 48 HOURS PRIOR TO DIGGING FOR ACTUAL FIELD LOCATIONS OF ANY KNOWN UNDERGROUND FACILITIES WITHIN THE LIMITS OF THE PROJECT.
- FOR INFORMATION REQUIRED CONCERNING UNDERGROUND TELEPHONE LINES BETWEEN SOUTHERN BELL MANHOLES, THE UTILITY CONTRACTOR IS TO CALL 1-800-432-4770 WITHIN FIVE (5) DAYS PRIOR TO STARTING CONSTRUCTION FOR INFORMATION AND COORDINATION BY SOUTHERN BELL REPRESENTATIVE. THEY WILL SET UP APPOINTMENT FOR CONFERENCE ON SITE, IF REQUIRED.
- CONTRACTOR TO NOTIFY THIS OFFICE AT LEAST FIFTEEN (15) DAYS PRIOR TO COMPLETION OF CONSTRUCTION TO ENABLE PREPARATION OF STORMWATER "AS-BUILTS" PURSUANT TO CLAY COUNTY REQUIREMENTS.
- ALL PAVEMENT DIMENSIONS ARE FROM FACE OF CURB. PARKING AREA LANDSCAPE ISLANDS SHALL BE CONSTRUCTED WITH A 4.5' RADIUS. GENERAL INTERIOR PARKING RADIUS SHALL BE 5.0' UNLESS OTHERWISE NOTED.
- GATE AND FENCE DETAILS SHALL BE PROVIDED BY THE OWNER.
- CONCRETE PAVING TO BE 6" REINFORCED (4x4x4x4 W.W.M.) FLAT SHEETS, 3,000 p.s.i. CONCRETE, MAXIMUM SLUMP 4 INCHES.
- UNSUITABLE MATERIALS UNDER STORM PIPE SHALL BE REMOVED AND REPLACED WITH SELECTED BACK-FILL PROPERLY COMPACTED TO 98% OF MAX. MODIFIED PROCTOR DENSITY (ASHTO T-99).
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH LATEST CLAY COUNTY STANDARDS AND DEPT. OF PUBLIC WORKS LAND DEVELOPMENT PROCEDURES MANUAL.



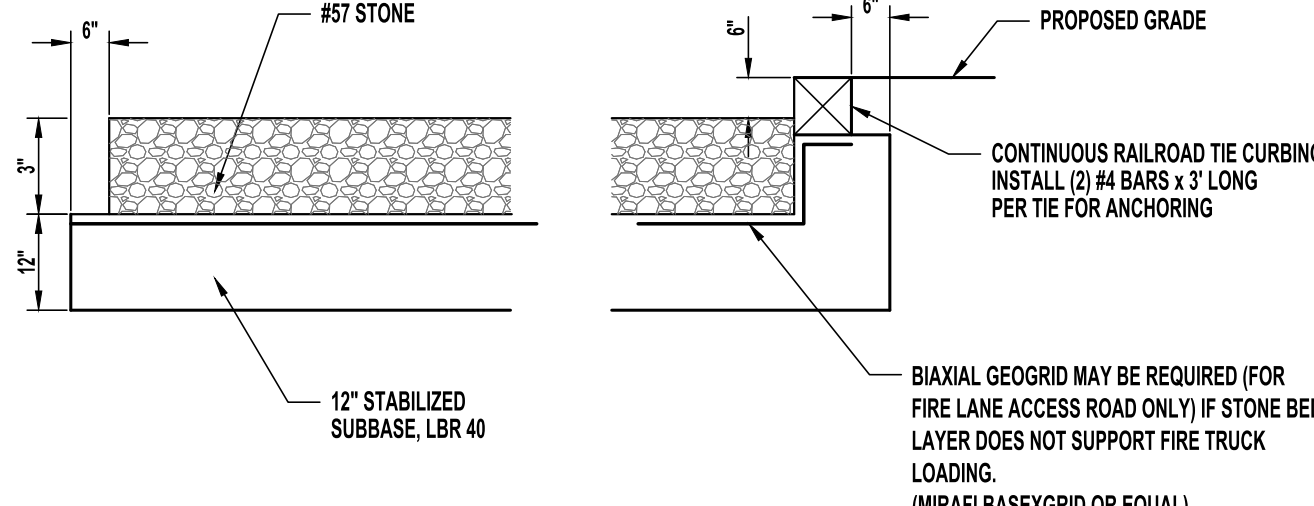
TYPICAL HANDICAP PARKING SPACE
N.T.S.



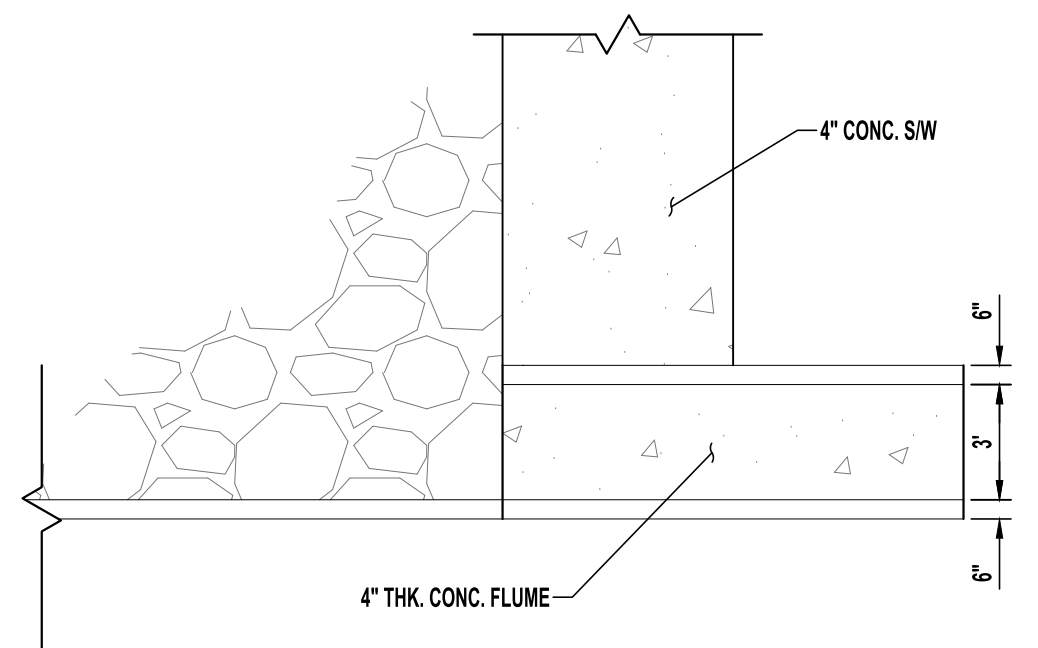
TYPICAL HANDICAP PARKING SIGN
N.T.S.



RAILROAD TIE / WHEEL STOP DETAIL
N.T.S.



GRAVEL SECTION
N.T.S.

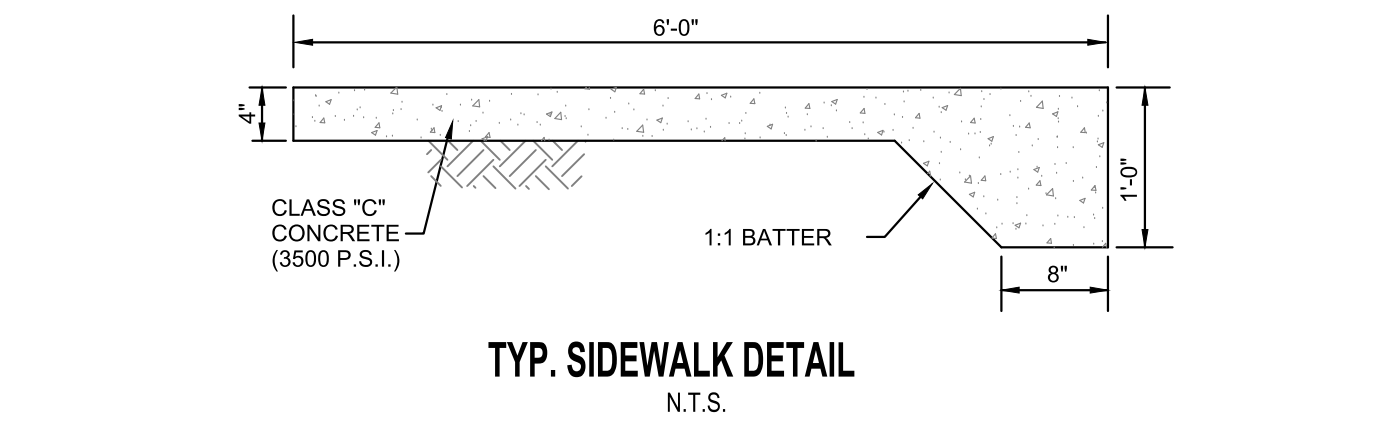


PLAN VIEW

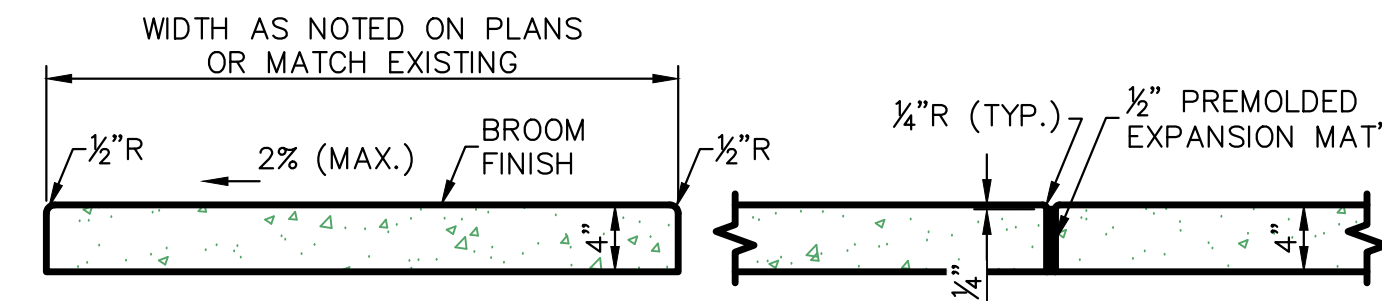
CONCRETE FLUME DETAIL
1" = 5"

NO PARKING FIRE LANE SIGN DETAIL
1" = 2"

CROSS SECTION

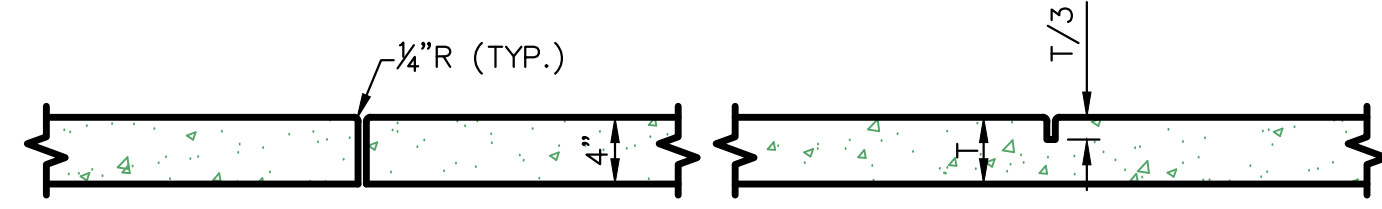


TYP. SIDEWALK DETAIL
N.T.S.



WALK SECTION
(MIN. 3000 PSI CONC.)

EXPANSION JOINT
PROVIDE AT EVERY SIDEWALK INTERSECTION
(18'-0" O.C. MAX.)

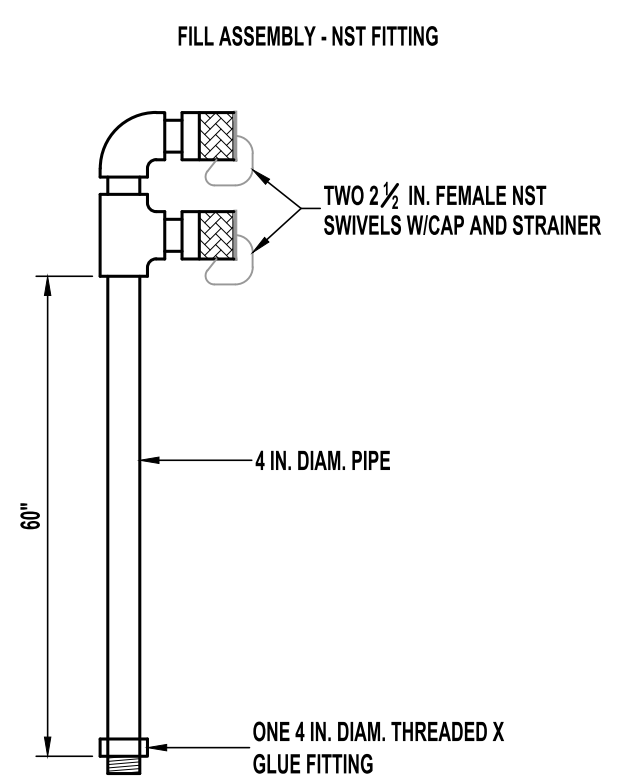


CONSTRUCTION JOINT
(18'-0" O.C. MAX.)

SAWCUT
(6'-0" O.C. MAX.)

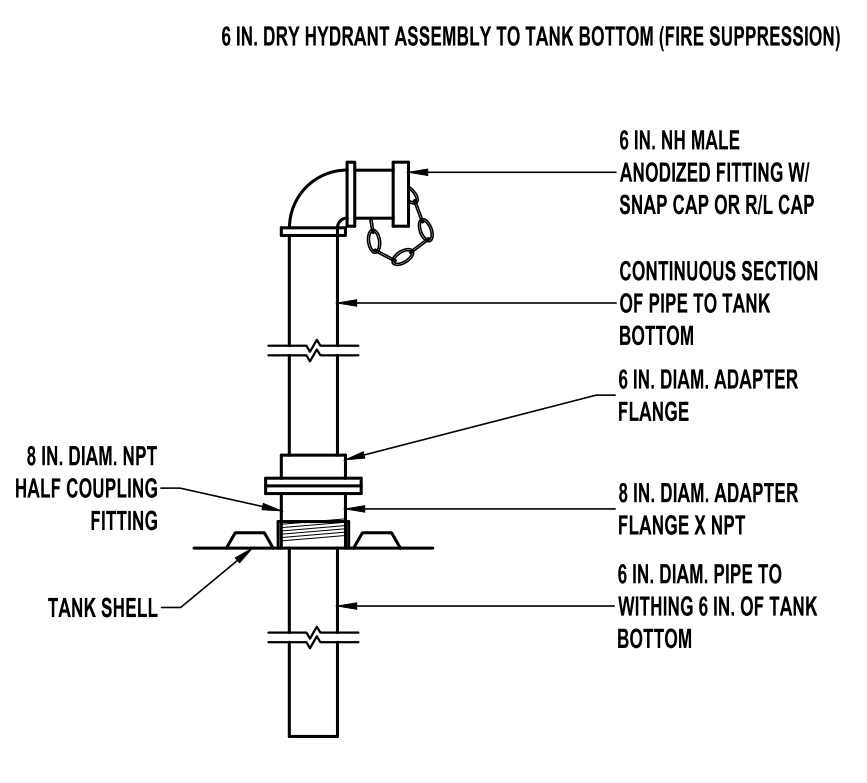
- NOTES:
- WHERE SIDEWALK ABUTS BUILDING, SEPARATE WITH A 1/2" PRE-MOLDED MASTIC STRIP CONTINUOUS.
 - LONGITUDINAL WALK SLOPE VARIES, SEE PLAN, MAX. 5%.
 - CROSS SLOPES SHALL NOT EXCEED 2%.
 - NO WIRE MESH TO BE PROVIDED IN TOWN RIGHT-OF-WAY.

SIDEWALK DETAILS
N.T.S.

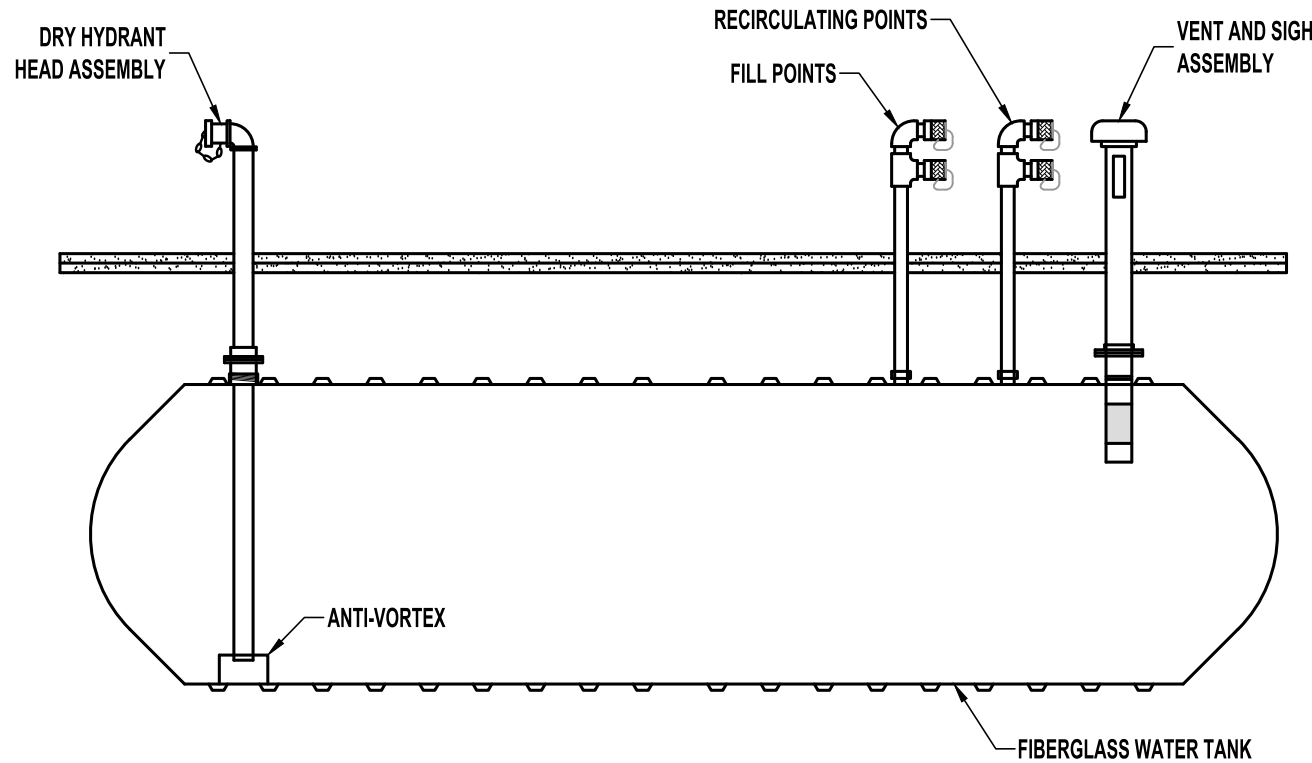


TYPICAL FILL ASSEMBLY

FOR SI UNITS, 1 IN. = 25.4 MM.

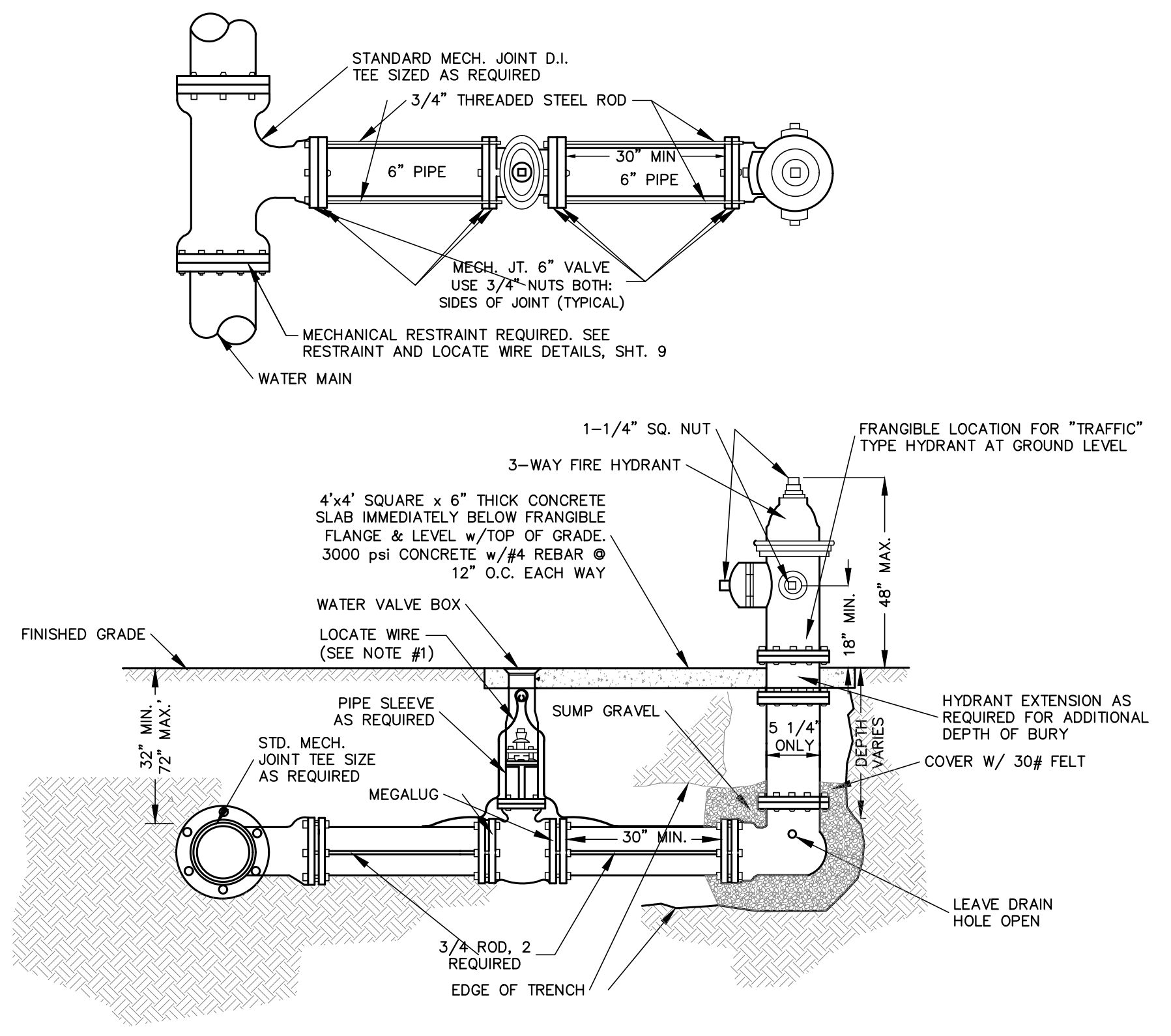


TYPICAL DRY HYDRANT ASSEMBLY



FIBERGLASS TANK AS AN UNDERGROUND CISTERN

FIRE TANK SCHEMATIC DETAILS
N.T.S.



HYDRANT INSTALLATION TIE RODS & MECHANICAL JOINT FITTINGS
N.T.S.

- NOTES:
- LOCATING WIRING REQUIRED. SEE RESTRAINT AND LOCATE WIRE DETAILS, SHT.9
 - FIRE HYDRANTS SHALL BE INSTALLED BETWEEN BACK OF CURB AND FACE OF SIDEWALK EXCEPT WHERE CONDITIONS AND/OR REGULATIONS PROHIBIT.

ADS, Inc. Drainage Handbook

Specifications • 1-34

ADS FLARED END SECTION SPECIFICATION

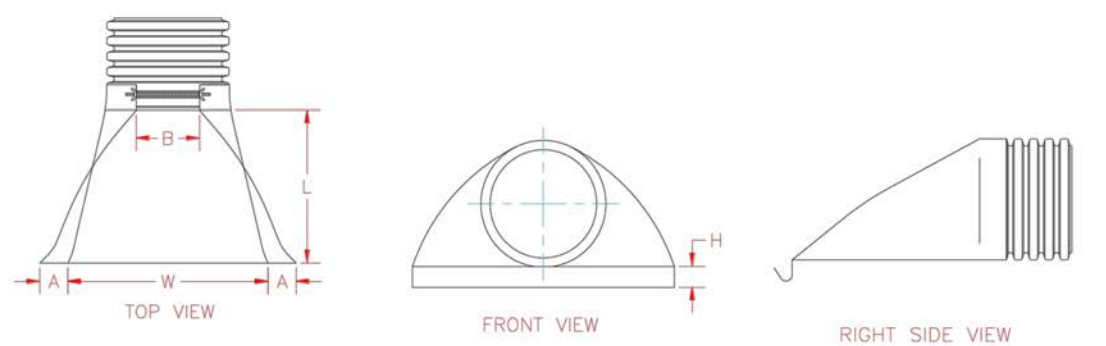
Scope
This specification describes 12- through 36-inch (300 to 900mm) ADS Flared End Sections for use in culvert and drainage outlet applications.

Requirements
The ADS Flared End Section shall be high density polyethylene meeting ASTM D3350 minimum cell classification 213320C; contact manufacturer for additional cell classification information. When provided, the metal threaded fastening rod shall be stainless steel.

Installation
Installation shall be in accordance with ADS installation instructions and with those issued by state or local authorities. Contact your local ADS representative or visit www.adspipe.com for the latest installation instructions.

Diameter	PIPE DIAMETER, IN (MM)					
	12	15	18	24	30	36
A	6.5	6.5	7.5	7.5	7.5	7.5
A (in mm)	(165)	(165)	(191)	(191)	(191)	(191)
B (max)	10.0	10.0	15.0	18.0	22.0	25.0
B (in mm)	(254)	(254)	(381)	(475)	(559)	(635)
H	6.5	6.5	6.5	6.5	6.5	6.6
H (in mm)	(165)	(165)	(165)	(165)	(165)	(218)
L	25.0	25.0	32.0	38.0	38.0	56.0
L (in mm)	(635)	(635)	(813)	(914)	(914)	(1413)
W	29.0	29.0	35.0	45.0	63.0	63.0
W (in mm)	(737)	(737)	(889)	(1143)	(1600)	(1600)

*Product detail may differ slightly from actual product appearance.



ADS FLARED END SECTION DETAIL
N.T.S.

BEFORE YOU DIG!
CALL SUNSHINE STATE ONE CALL OF FLORIDA
AT LEAST TWO FULL BUSINESS DAYS BEFORE
DIGGING OR DISTURBING EARTH

811
Know what's below.
Call before you dig.
1-800-432-4770

GRACE MISSIONARY BAPTIST CHURCH
4489 SPRINGBANK RD | GREEN COVE SPRINGS, FL

WILLIAM E. (ED) TULLY III, INC.
(904) 994-9578; Email: etullyiii@gmail.com
Consulting Civil Engineer, FL Reg. P.E. # 36191
10625 Quail Ridge Drive - Ponte Vedra, FL 32081
Certificate of Authorization # 4576

DETAIL SHEET

NOT RELEASED FOR CONSTRUCTION

9/16/2024 10:13 PM

Revisions

No.	Date	By	DAF	DAF	DAF
1	8/14/23	PER CLAY COUNTY DRC	7/29/24	7/29/24	7/29/24
2	7/29/24	PER CLAY COUNTY DRC	9/2/24	9/2/24	9/2/24
3	9/2/24	PER CLAY COUNTY DRC			

Date: 09-07-22
Scale: N.T.S.
Drawn: DAF
Checked By: WET
Job: 22-018
Sheet: C5

LANDSCAPE REQUIREMENTS

- A. INTERIOR LANDSCAPING**
- TOTAL PUBLIC VEHICULAR USE AREA (VUA): 22,836 S.F.
 TOTAL PUBLIC INTERIOR LANDSCAPING REQUIRED: 22,836 S.F. x 10% = 2,284 S.F. REQUIRED/3,036 S.F. PROVIDED
 TOTAL NON-PUBLIC VUA: 1,000 S.F.
 TOTAL PUBLIC INTERIOR LANDSCAPING REQUIRED: 1,000 S.F. x 10% = 100 S.F. REQUIRED/100 S.F. PROVIDED
 - SUFFICIENT SHADE TREES TO RECEIVE AT LEAST TWO TREE POINTS PER 150 S.F. OF LANDSCAPE AREA
31 TREES REQUIRED / 47.55 TREES PROVIDED

- B. PERIMETER LANDSCAPING ADJACENT TO THE STREET WITHOUT STREET TREES - SPRINGBANK ROAD 450'**
- A LANDSCAPED AREA OF AT LEAST FIFTEEN FEET IN WIDTH BETWEEN OFF-STREET PARKING AREAS AND ABUTTING RIGHTS-OF-WAY
 - A DURABLE OPAQUE SCREEN OF AT LEAST TWO FOOT HEIGHT AT PLANTING ALONG PARKING LOT SIDE OF RIGHT-OF-WAY
 - SUFFICIENT SHADE TREES TO RECEIVE AT LEAST SIX TREE POINTS PER 100 L.F.
27 TREES REQUIRED / 119.0 TREE POINTS PROVIDED

- C. PERIMETER LANDSCAPING ADJACENT TO PROPERTY LINE - RESIDENTIAL**
- SOUTH PROPERTY LINE - 310' / 440' BUFFER SCREENING 20B IS REQUIRED

- A LANDSCAPED AREA OF AT LEAST TWENTY FEET IN WIDTH IS REQUIRED ALONG THE PROPERTY LINE
8,800 S.F. REQUIRED / 8,800 S.F. PROVIDED
- A SOLID 6' HEIGHT FENCE IS PROVIDED
- SUFFICIENT SHADE TREES (1/30') TO RECEIVE AT LEAST TWO TREE POINTS PER 30 L.F.
30 TREE POINTS REQUIRED / 70.1 TREE POINTS PROVIDED

- NORTH PROPERTY LINE - 290' BUFFER SCREENING 20B IS REQUIRED

- A LANDSCAPED AREA OF AT LEAST TWENTY FEET IN WIDTH IS REQUIRED ALONG THE PROPERTY LINE
5,800 S.F. REQUIRED / 8,700 S.F. PROVIDED
- A SOLID 6' HEIGHT FENCE IS PROVIDED
- SUFFICIENT SHADE TREES (1/30') TO RECEIVE AT LEAST TWO TREE POINTS PER 30 L.F.
20 TREE POINTS REQUIRED / 61.4 TREE POINTS PROVIDED

- EAST PROPERTY LINE - 395' BUFFER SCREENING 20B IS REQUIRED

- A LANDSCAPED AREA OF AT LEAST TWENTY FEET IN WIDTH IS REQUIRED ALONG THE PROPERTY LINE
4,900 S.F. REQUIRED / 5,900 S.F. PROVIDED
- A SOLID 6' HEIGHT FENCE IS NOT PROVIDED
- SUFFICIENT SHADE TREES (1/30') TO RECEIVE AT LEAST TWO TREE POINTS PER 30 L.F.
28 TREE POINTS REQUIRED / 479.8 TREE POINTS PROVIDED

TREE SPECIES DIVERSITY

(PER SEC. 6-4(4)D)
 ZONING PS-1 x 16 TREE POINTS PER ACRE
 DEVELOPED PORTION OF THE SITE
 50,756 S.F. (3.46 ACRES)
 3.46 ACRES x 16 TREE POINTS/ACRE = 55.3

SIZE DESIGNATION	REQUIRED	PROPOSED
MINIMUM 20% SMALL: 2"-3" CAL.	11.0	62.2
55 TREE POINTS x .20		
MINIMUM 10% MEDIUM: 4"-11" CAL.	5.5	157.2
55 TREE POINTS x .10		
MINIMUM 10% LARGE: > 12" CAL.	5.5	558.5
(OR 2 MEDIUM TREES = 1 LARGE)		
55 TREE POINTS x .10		
TOTAL	22.0	777.9

TREE POINT SUMMARY

VEHICULAR USE AREA
 23,222 S.F. PAVEMENT; 2,550 S.F. LANDSCAPE AREA PROVIDED (11%)
 34 TREE POINTS REQUIRED

8 NON-NATIVE TREES PLANTED @ 2" CAL. @ 2.0 POINTS =	16.0 POINTS
2 NATIVE TREES PLANTED @ 2" CAL. @ 2.2 POINTS =	4.4 POINTS
1 NATIVE TREE PLANTED @ 4" CAL. @ 4.4 POINTS =	4.4 POINTS
1 NATIVE TREE RETAINED @ 13" CAL. @ 22.75 POINTS =	22.75 POINTS
TOTAL	47.55 POINTS

RIGHT-OF-WAY BUFFER
 450 L.F. = 4.5 x 8 TREE POINTS = 27 POINTS

1 NATIVE TREE RETAINED @ 21" CAL. @ 36.75 POINTS =	36.75 POINTS
1 NATIVE TREE RETAINED @ 23" CAL. @ 40.25 POINTS =	40.25 POINTS
1 NATIVE TREE RETAINED @ 24" CAL. @ 42.0 POINTS =	42.0 POINTS
TOTAL	119.0 POINTS

PERIMETER BUFFER
 1125 L.F. = 1 TREE PER 30 L.F. = 38 TREES

19 NATIVE TREES PLANTED @ 2" CAL @ 2.2 POINTS =	41.8
2 NATIVE TREES PLANTED @ 4" CAL @ 4.4 POINTS =	8.8
2 NATIVE TREES RETAINED @ 5" CAL @ 7.5 POINTS =	15.0
2 NATIVE TREES RETAINED @ 6" CAL @ 9.0 POINTS =	18.0
4 NATIVE TREES RETAINED @ 7" CAL @ 10.5 POINTS =	42.0
2 NATIVE TREES RETAINED @ 8" CAL @ 12.0 POINTS =	24.0
1 NATIVE TREE RETAINED @ 9" CAL @ 13.5 POINTS =	13.5
1 NATIVE TREE RETAINED @ 10" CAL @ 15.0 POINTS =	15.0
1 NATIVE TREE RETAINED @ 11" CAL @ 16.5 POINTS =	16.5
4 NATIVE TREES RETAINED @ 12" CAL @ 21.0 POINTS =	84.0
1 NATIVE TREE RETAINED @ 13" CAL @ 22.75 POINTS =	22.75
1 NATIVE TREE RETAINED @ 17" CAL @ 29.75 POINTS =	29.75
1 NATIVE TREE RETAINED @ 19" CAL @ 33.25 POINTS =	33.25
3 NATIVE TREES RETAINED @ 20" CAL @ 35.0 POINTS =	105.5
1 NATIVE TREE RETAINED @ 24" CAL @ 42.0 POINTS =	42.0
1 NATIVE TREE RETAINED @ 50" CAL @ 100.0 POINTS =	100.0
TOTAL	611.35

TREE POINTS

VEHICULAR USE AREA	47.55 POINTS
RIGHT-OF-WAY BUFFER	119.0 POINTS
PERIMETER BUFFER	611.35 POINTS
TOTAL	777.9 POINTS

EXISTING TREE LEGEND

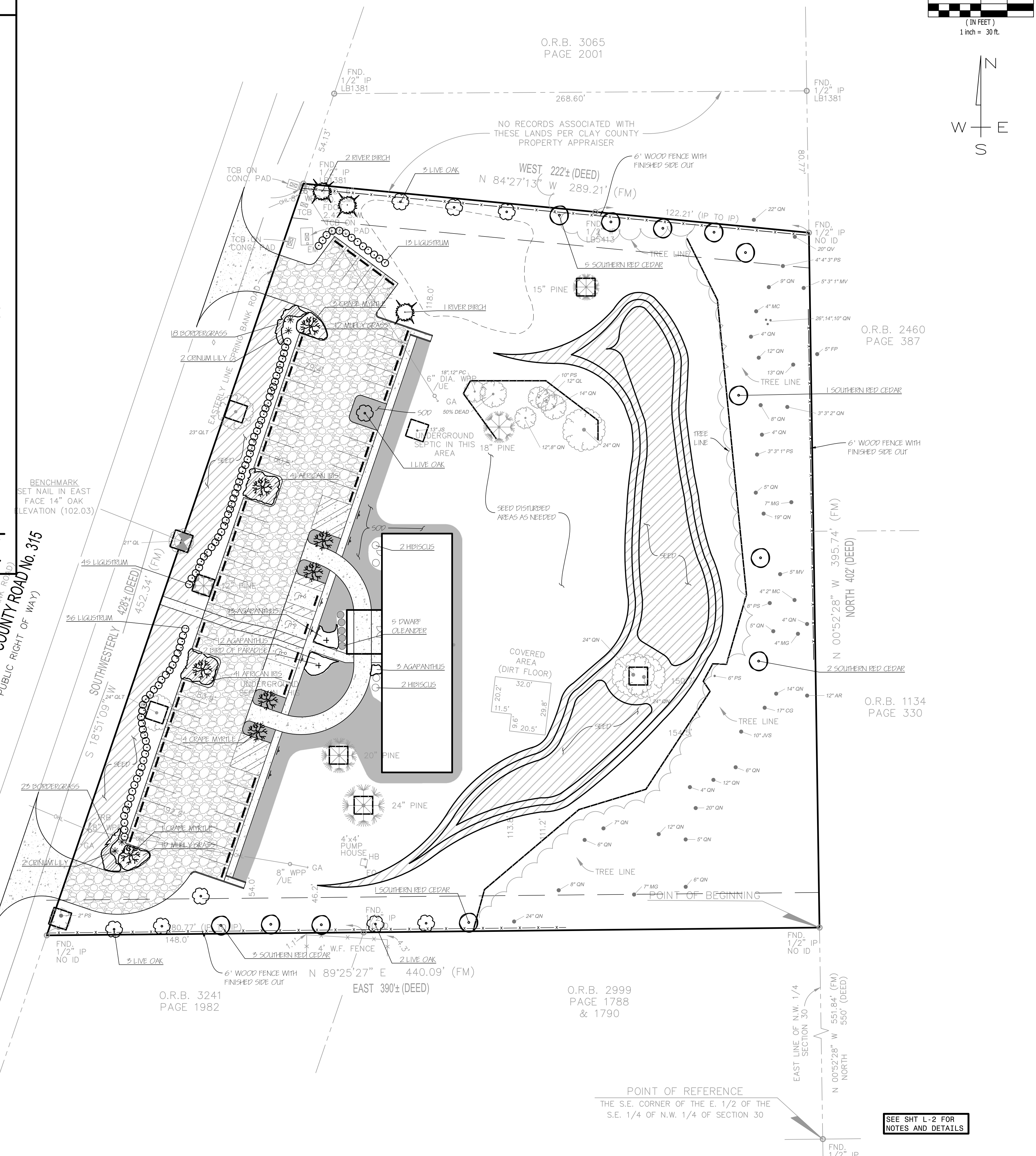
- AR - RED MAPLE
- CG - PIGNUT HICKORY
- FP - GREEN ASH
- JSUVS - SOUTHERN RED CEDAR
- MC - WAX MYRTLE
- MG - MAGNOLIA
- MV - SWEETBAY
- P - PINE
- PC - CHERRY LAUREL
- PS - BLACK CHERRY
- QL - LAUREL OAK
- QLT - TURKEY OAK
- QN - WATER OAK
- QV - LIVE OAK

PLANT SCHEDULE

QTY	COMMON NAME	BOTANICAL NAME	SIZE AND SPACING	NATIVE	SQ.FT. AREA
TREES					
8	CREAPE MYRTLE	LAGERSTROEMIA INDICA 'TUSCARORA'	8'-10' HT, 2" CAL, MIN. 3 TRKS	NO	
12	LIVE OAK	QUERCUS VIRGINIANA	10' HT, 2" CAL.	YES	
3	RIVER BIRCH	BETULA NIGRA	10' HT, 4" CAL, MIN. 3 TRKS	YES	
12	SOUTHERN RED CEDAR	JUNIPERUS SILICICOLA	10' HT, 2" CAL.	YES	
SHRUBS AND GROUND COVER					
82	AFRICAN IRIS	MORAEA IRIPOIDES	1 GAL, 2' O.C.	NO	
28	AGAPANTHUS	AGAPANTHUS ORIENTALIS	1 GAL, 2' O.C.	NO	
2	BIRD OF PARADISE	STRELITZIA REGINAE	5 GAL	NO	
41	BORDERGRASS	LIRIOPE 'SUPER BLUE'	1 GAL, 2' O.C.	NO	
4	CRINUM LILY	CRINUM AMERICANA	3 GAL, 6' O.C.	NO	
5	DWARF OLEANDER	NERIUM OLEANDER 'DWARF PETITE PINK'	3 GAL, 4' O.C.	NO	
4	HIBISCUS	HIBISCUS SYRIACUS	3 GAL	NO	
94	LIGUSTRUM	LIGUSTRUM JAPONICA	24" HT, 3" O.C.	NO	
31	MUHLY GRASS	MUHLENBERGIA CAPILLARIS	1 GAL, 3' O.C.	YES	

- MULCH WITH PINE STRAW OR PINE BARK AT 2" - 2.5" DEPTH.
- CREATE 4'-5' EARTHEN RING AROUND PROPOSED TREES TO HOLD WATER.
- SOD TO BE ARGENTINE BAHIA. SOD DISTURBED RIGHT-OF-WAY AS NEEDED.
- SEED DISTURBED AREAS: IF SEEDED BEFORE MID-OCTOBER, USE 4:1 RATION OF BAHIA SEED TO COMMON BERMUDA; USE 3 LBS. BAHIA TO .75 LBS. BERMUDA/1,000 S.F.; IF AFTER MID-OCTOBER, SUBSTITUTE RYE SEED FOR BERMUDA AT THE SAME RATIO.

SPRINGBANK ROAD - COUNTY ROAD No. 315
 (ALSO KNOWN AS SPRING BANK ROAD)
 (80' PUBLIC RIGHT OF WAY)



GRACE MISSIONARY BAPTIST CHURCH
 4489 SPRINGBANK RD
 GREEN COVE SPRINGS, FLORIDA
 LANDSCAPE PLAN

Donnell
 Landscape Design, Inc.
 5617 Salerno Road, Jacksonville, FL 32244
 Cell: 904.333.2342

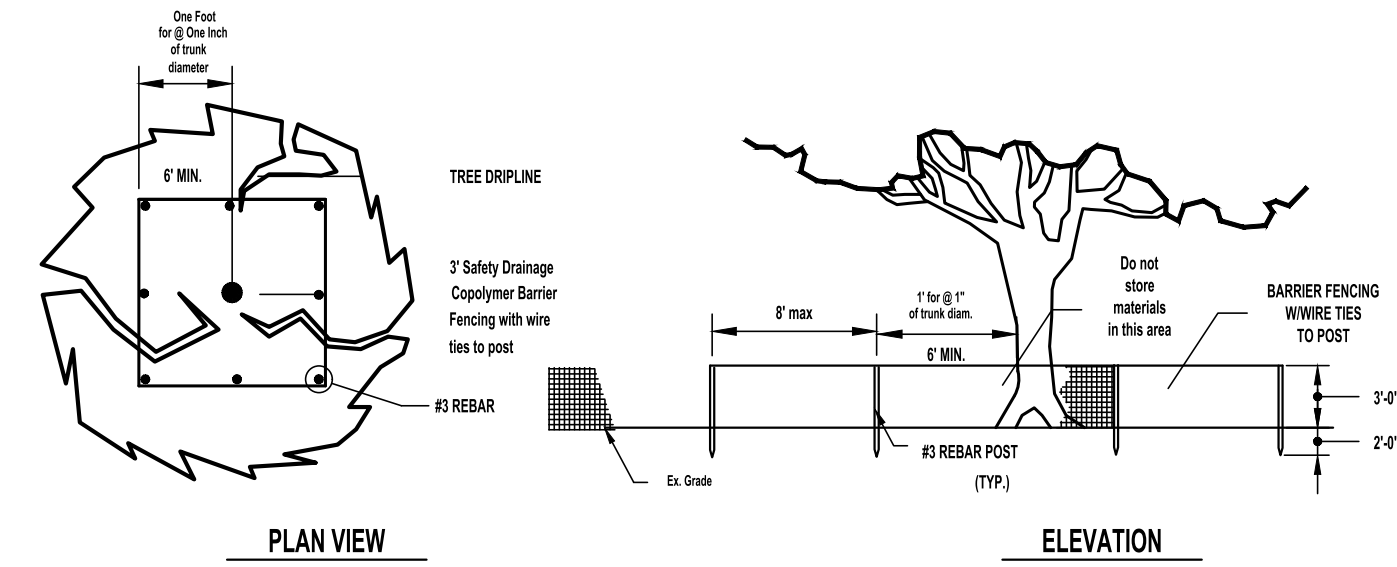
NO.	DATE	BY	REVISIONS
1	12/14/23	JMD	PER COUNTY COMMENTS
2	12/15/24	JMD	PER COUNTY COMMENTS & NEW EASTERN BUFFER

Date: 03/28/23
 Scale: 1" = 30'
 Drawn: DAF
 Checked by: JMD
 Sheet: L-1

GENERAL NOTES AND SPECIFICATIONS

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE
2. ALL TREES AND SHRUBS SHALL BE GRADE "FLORIDA NO. 1 OR BETTER".
3. ALL PLANTS MUST BE BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
4. ALL PLANTS SHALL BE TRIANGULAR SPACED.
5. ALL TREES MUST BE GUYED AND STAKED AS SHOWN IN THE DETAILS.
6. ALL PLANTS MUST BE TREATED WITH A ROOT STIMULANT PER THE LABEL AT THE TIME OF PLANTING.
7. PINE BARK OR PINE STRAW MULCH SHALL BE PROVIDED A MINIMUM OF TWO INCHES IN DEPTH AROUND ALL NEWLY PLANTED LANDSCAPING.
8. PRIOR TO CONSTRUCTIONS, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILIZES DURING THE COURSE OF THE WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.
10. THE PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIXING, PLANTED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, PRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
11. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, PRUNING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE LANDSCAPE ARCHITECT AND THE OWNER.
12. ALL PLANTS SHALL BE GUARANTEED FOR 90 DAYS FOR FINAL INSPECTION AND ACCEPTANCE ALL TREES SHALL BE GUARANTEED AND ADDITIONAL 180 DAYS.
13. ALL PANTS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING, ALL TREES MUST BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE.
14. STANDARD SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
15. THIS CONTRACT IS SUBJECT TO THE RULES AND REGULATIONS OF THE "GRADES AND STANDARDS" FOR NURSERY PLANTS AS PUBLISHED BY THE DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. IF THE OWNER OF LANDSCAPE ARCHITECT HAS REASON TO BELIEVE THAT THE PLANTS ARE NOT OF THE SPECIFIED GRADE, HE WILL REQUEST A REGARDING INSPECTION, AND SUCH EVIDENCE WILL BE BASIS FOR REQUESTING REPLACEMENT OF PLANTS AND FOR LEGAL OR OTHER ACTION ACCORDING TO LAW, SHOULD THIS BECOME NECESSARY.
16. PLANT SOIL MIXTURE: ADD SUFFICIENT PEAT OR RECYCLED COMPOST AND BUILDERS SAND TO NATURAL, FERTILE, FRIABLE TOPSOIL TYPICAL OF THE LOCALITY TO ACHIEVE A 1;3 ORGANIC MIX
17. PRIOR TO ANY LAND CLEARING OPERATIONS, TEMPORARY BARRIERS SHALL BE INSTALLED AROUND ALL TREES AND ALL UNDERSTORY VEGETATION TO REMAIN WITHIN THE LIMITS OF LAND CLEARING OR CONSTRUCTION AND SHALL REMAIN UNTIL THE COMPLETION OF WORK, THE TEMPORARY BARRIER SHALL COMPLY WITH THE TREE BARRIER DETAIL AS DEPICTED ON THIS SHEET.
18. NO MATERIALS, TRAILERS, EQUIPMENT OR CHEMICALS SHALL BE STORED, OPERATED, DUMPED, BURIED, OR BURNED WITHIN THE PROTECTED AREAS. NO ATTACHMENT, WIRES (OTHER THAN PROTECTIVE GUY WIRES), SIGNS OR PERMITS SHALL BE ATTACHED TO A PROTECTED TREE.
19. WHEN REMOVING BRANCHES FROM PROTECTED TREES TO CLEAR FOR CONSTRUCTION OR PRUNING TO RESTORE THE NATURAL SHAPE OF THE TREE, THE GUIDELINES IN THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES AND THE AMERICAN STANDARDS FOR TREE CARE OPERATIONS (ANSI # 2133.1) SHALL BE FOLLOWED. PROTECTED TREES SHALL BE PRUNED AND FERTILIZED AS NECESSARY TO COMPENSATE FOR ANY LOSS OF ROOTS AND TO STIMULATE ROOT GROWTH. ANY DAMAGE TO TREE CROWNS OR ROOT SYSTEMS SHALL BE REPAIRED IMMEDIATELY AFTER DAMAGE OCCURS.
20. STORE, PROVIDE, INSTALL AND PROTECT PER MARSH LANDING ARCHITECTURAL REVIEW BOARD STANDARDS AND GUIDELINES.
21. TREE PLANTING SHALL NOT BE CLOSER THAN 7.5' FROM PRESSURIZED UTILITY LINE LOCATIONS.
22. ALL MECHANICAL EQUIPMENT ON THE GROUND AND / OR ROOF TOP MUST BE SCREENING IN COMPLIANCE WITH LDC 6.06.04B9.
23. VEGETATION THAT EXCEEDS TWENTY-FIVE (25) FEET IN HEIGHT AT MATURITY SHOULD NOT BE PLANTED CLOSER THAN FIFTEEN (15) FEET OF THE VERTICAL PLANE OF AN EXISTING POWER LINE, EXCLUDING SERVICE WIRES.
24. BALLED AND BURLAPPED STRAPPING WIRE, AND ANY SYNTHETIC MATERIAL SHALL BE REMOVED PRIOR TO FINAL INSPECTION. WIRE BASKETS MUST BE REMOVED FROM THE TOP THIRD OF THE ROOTBALL.
25. TREES SHALL NOT BE PLANTED CLOSER THAN TEN (10) FEET FROM OTHER TREES UNLESS APPROVED BY THE COUNTY ADMINISTRATION, AND CANOPY TREES TO BE PLANTED AT LEAST 20' FROM OTHER CANOPY TREES.
26. A MULCH RING FOR ALL NEWLY PLANTED TREES SHALL BE PROVIDED AT LEAST FIVE (5) FEET IN DIAMETER AND NOT CLOSER THAN SIX (6) INCHES FROM THE TREE TRUNK.
27. SOIL IN TRED ISLANDS SHALL HAVE AT LEAST 12" OF SUITABLE SOIL FOR TREE PLANTINGS, AND BE VOID OF AN; Y CONSTRUCTIONS DEBRIS OR UNSUITABLE MATERIALS.
28. IRRIGATION WILL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM.
29. TREES SHALL HAVE A MINIMUM HEIGHT OF EIGHT (8) TO TEN (10) FEET AND TWO (2) INCHES OR CALIPER.
30. SHRUB LINES ARE TO BE PLANTED AT THE REQUIRED MINIMUM HEIGHT, NOT BY CONTAINER SIZE.

EXISTING TREES REMOVED SPECIES	CALIPER
BLACK CHERRY	13"
BLACK CHERRY	13"
WATER OAK	24"
PINE	18"
TOTAL	68"



EXISTING TREE LEGEND

- - EXISTING TREE TO REMAIN
- X - EXISTING TREE TO BE REMOVED
- AR - RED MAPLE
- CG - PINOIT HICKORY
- FP - GREEN ASH
- JSL/AVS - SOUTHERN RED CEDAR
- MC - WAX MYRTLE
- MG - MAGNOLIA
- MV - SWEETBAY
- P - PINE
- PC - CHERRY LAUREL
- PS - BLACK CHERRY
- QL - LAUREL OAK
- QLT - TURKEY OAK
- QN - WATER OAK
- QV - LIVE OAK
- - TREE BARRICADE

SPRINGBANK ROAD - COUNTY ROAD No. 315
 (ALSO KNOWN AS SPRINGBANK ROAD)
 (80' PUBLIC RIGHT OF WAY)

BENCHMARK
 SET NAIL IN EAST
 FACE 14" OAK
 ELEVATION (102.03)

REMOVE DEAD
 12" OAK

O.R.B. 3241
 PAGE 1982

O.R.B. 3065
 PAGE 2001

NO RECORDS ASSOCIATED WITH THESE LANDS PER CLAY COUNTY PROPERTY APPRAISER

WEST 222± (DEED)
 N 84°27'13" W 289.21' (FM)

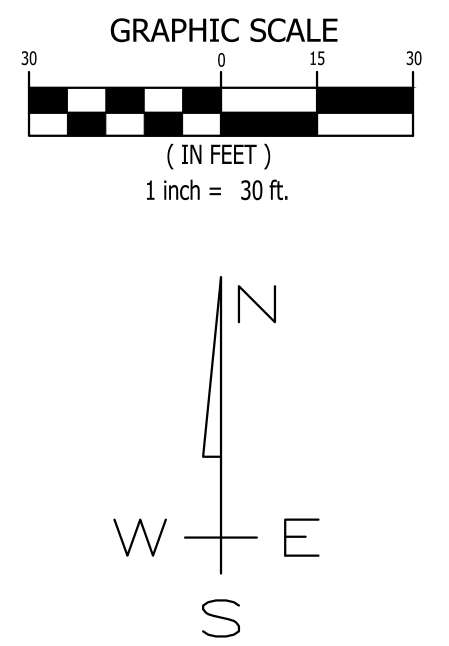
O.R.B. 2460
 PAGE 387

O.R.B. 1134
 PAGE 330

O.R.B. 2999
 PAGE 1788
 & 1790

POINT OF REFERENCE
 THE S.E. CORNER OF THE E. 1/2 OF THE
 S.E. 1/4 OF N.W. 1/4 OF SECTION 30

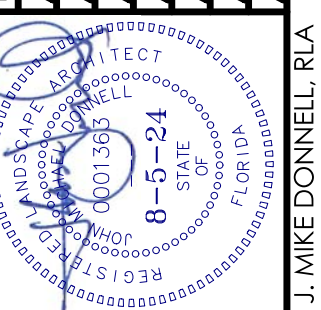
SEE SHT L-1 FOR
 TREE TABLES



GRACE MISSIONARY BAPTIST CHURCH
 4489 SPRINGBANK RD
 GREEN COVE SPRINGS, FLORIDA
 TREE MITIGATION PLAN

Donnell
 Landscape Design, Inc.
 5617 Salerno Road, Jacksonville, FL 32244
 Cell: 904.333.2342

NO.	DATE	BY	REVISIONS
1	11/15/24	JMD	PER COUNTY COMMENTS



Date 03/28/23
 Scale 1" = 30'
 Drawn DAF
 Checked by JMD
 Sheet

IRRIGATION NOTES

THE CONTRACTOR'S ATTENTION IS CALLED TO THE FACT THAT THERE ARE OTHER ACTIVE UTILITIES AND SERVICES IN AND AROUND THE SITE. CONTRACTOR IS RESPONSIBLE FOR LOCATING THESE TO AVOID DAMAGE TO THEM.

THE CONTRACTOR SHALL MAKE ANY NECESSARY ADJUSTMENTS IN THE PROPOSED IRRIGATION SYSTEM TO AVOID DAMAGE TO EXISTING STRUCTURES, PAVING AND UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFORMING TO ALL CODES AND ORDINANCES RELEVANT TO THE WORK UNDER THIS CONTRACT

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ON-SITE UTILITIES, STRUCTURES, OR PAVING RESULTING FROM IRRIGATION CONSTRUCTION.

ALL WORK ADJUSTMENTS AND INSPECTIONS SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND LABOR TO FULLY EXECUTE AND GUARANTEE, AS REQUIRED, THE TOTAL SHOWN ON THIS PLAN IN ACCORDANCE WITH SPECIFICATIONS, AND ALSO AS PER INSTRUCTIONS OF THE LANDSCAPE ARCHITECT AND THE OWNER.

THE CONTRACTOR SHALL VERIFY ALL QUANTITIES TO ASSURE ADEQUATE INSTALLATION OF THE SYSTEM.

THE LOCATION OF THE AUTOMATIC CONTROL CLOCK IS GENERALLY INDICATED ON THE DRAWING AND WILL BE SPECIFICALLY LOCATED ON SITE BY THE ARCHITECT OR THE OWNER.

ELECTRICAL SOURCE WILL BE SUPPLIED BY OTHERS.

IT WILL BE THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO MAKE ALL NECESSARY CONNECTIONS AND PROVIDE ALL EQUIPMENT TO OPERATE THE SYSTEM.

WIRE TO CONFORM WITH NATIONAL ELECTRICAL CODE, SIZED ADEQUATELY TO CARRY CURRENT DISTANCES AS INDICATED. ALL CONNECTIONS TO BE WATERPROOF SNAP-TYPE CONNECTIONS.

BACKFLOW PREVENTER TO BE DOUBLE CHECK VALVE, RAINBIRD DCA SERIES OR EQUAL, TO BE INSTALLED TO MEET ALL LOCAL CODES, ORDINANCES, AND PERMITS. ALL VALVES TO BE INSTALLED IN PROTECTIVE BOXES, AMTEX, OR EQUAL, 8" DIAMETER.

ALL PIPING TO BE SCH PR#160; ALL SLEEVES TO BE SCHEDULE #40.

EXCAVATE MAINLINE TRENCH A MINIMUM OF 18" DEPTH. ALL OTHER PIPE LINES TO BE 12" OR GREATER IN DEPTH. SNAKE PIPE IN TRENCH FROM SIDE TO SIDE TO ALLOW FOR EXPANSION AND CONTRACTION.

THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO ASSURE 100% COVERAGE OF THE LANDSCAPED AREAS.

AFTER ORIGINAL ACCEPTANCE BY THE OWNER, IRRIGATION SYSTEM SHOULD BE CHECKED FOR CLOGGED NOZZLES, BROKEN OR KNOCKED OFF HEADS, OR ANY BREAKS. CONFIRM SUFFICIENT COVERAGE AND ALIGNMENT OR ORIENTATION OF INDIVIDUAL HEADS AND RISERS.

IRRIGATION CONTRACTOR TO GUARANTEE IRRIGATION PARTS AND SERVICE FOR ONE YEAR. THIS EXCLUDES VANDALISM AND DAMAGE THROUGH IRRESPONSIBLE GROUNDS MAINTENANCE.

IRRIGATION LEGEND

- ⊗ 1" RAINBIRD PGA SERIES ELECTIC VALVE
- ⊗ 1" LOW FLOW VALVE - RAINBIRD XCZ-100-PRF
- ▭ RAINBIRD ESP-LX MODULAR IRRIGATION CONTROLLER; INSTALL WITH STATE APPROVED RAIN SHUT OFF DEVICE
- ⊗ WILKINS 1" REDUCE PRESSURE BACK FLOW PREVENTER (OR APPROVED EQUAL)
- WELL AND PUMP TO PRODUCE 12-13 GPM @ 45 PSI
- ▲ 3/4" BRASS HOSE BIBB - INSTALL WATTS REGULATOR SERIES 8 HOSE BIBB VACUUM BREAKER (OR APPROVED EQUAL) INTO PROPOSED HOSE BIBB.
- △ FLUSH CAP - MDCFCAP
- ▭ RAINBIRD DRIPLINE, XFD-06-12-500, BROWN; PLACE AROUND PLANTS BEFORE MULCHING
- ⊗ UXB-360 XERT BUBBLER
- 4" AND 6" POP-UP
- 12" HI-POP
- SHRUB RISER
- TURF ROTOR
- SHRUB ROTOR
- ④ ZONE NUMBER
- ④ GALLONS PER MINUTE/GALLONS PER HOUR

NOZZLE LEGEND

NOZZLE LETTER	MAKE / TYPE	RADIUS	PRECIP. IN. /HR.
A	RAINBIRD 8 SERIES MPR	8' QTR	1.81
B	RAINBIRD 8 SERIES MPR	8' HALF	1.81
C	RAINBIRD 8 SERIES MPR	8' FULL	1.81
D	RAINBIRD 10 SERIES MPR	10' QTR	1.75
E	RAINBIRD 10 SERIES MPR	10' HALF	1.75
F	RAINBIRD 10 SERIES MPR	10' FULL	1.75
G	RAINBIRD 12 SERIES MPR	12' QTR	2.01
H	RAINBIRD 12 SERIES MPR	12' HALF	2.01
I	RAINBIRD 12 SERIES MPR	12' FULL	2.01
J	RAINBIRD 15 STRIP	15' EST	0.97
K	RAINBIRD 15 SERIES	15' SST	0.97
L	RAINBIRD 15 SERIES MPR	15' QTR	1.83
M	RAINBIRD 15 SERIES MPR	15' HALF	1.83
N	RAINBIRD 15 SERIES MPR	15' FULL	1.83
P	RAINBIRD 5 SERIES STREAM BUBBLER	5 CST-B	
BB	RAINBIRD 1400 SERIES BUBBLER MODEL 1404		1.0 GPM
R	5000 - MPR 25 ROTOR		0.45

IRRIGATION WATER DEMAND

ZONE NO.	GPM	TYPE	MINUTES	TOTAL GALLON
1	12	SPRAY	15	180
2	13	SPRAY	15	195
3	13	SPRAY	15	195
4	11	SPRAY	15	165
5	9	BUB	10	90
6	8	BUB	10	80
7	6	BUB	10	60
TOTAL				965

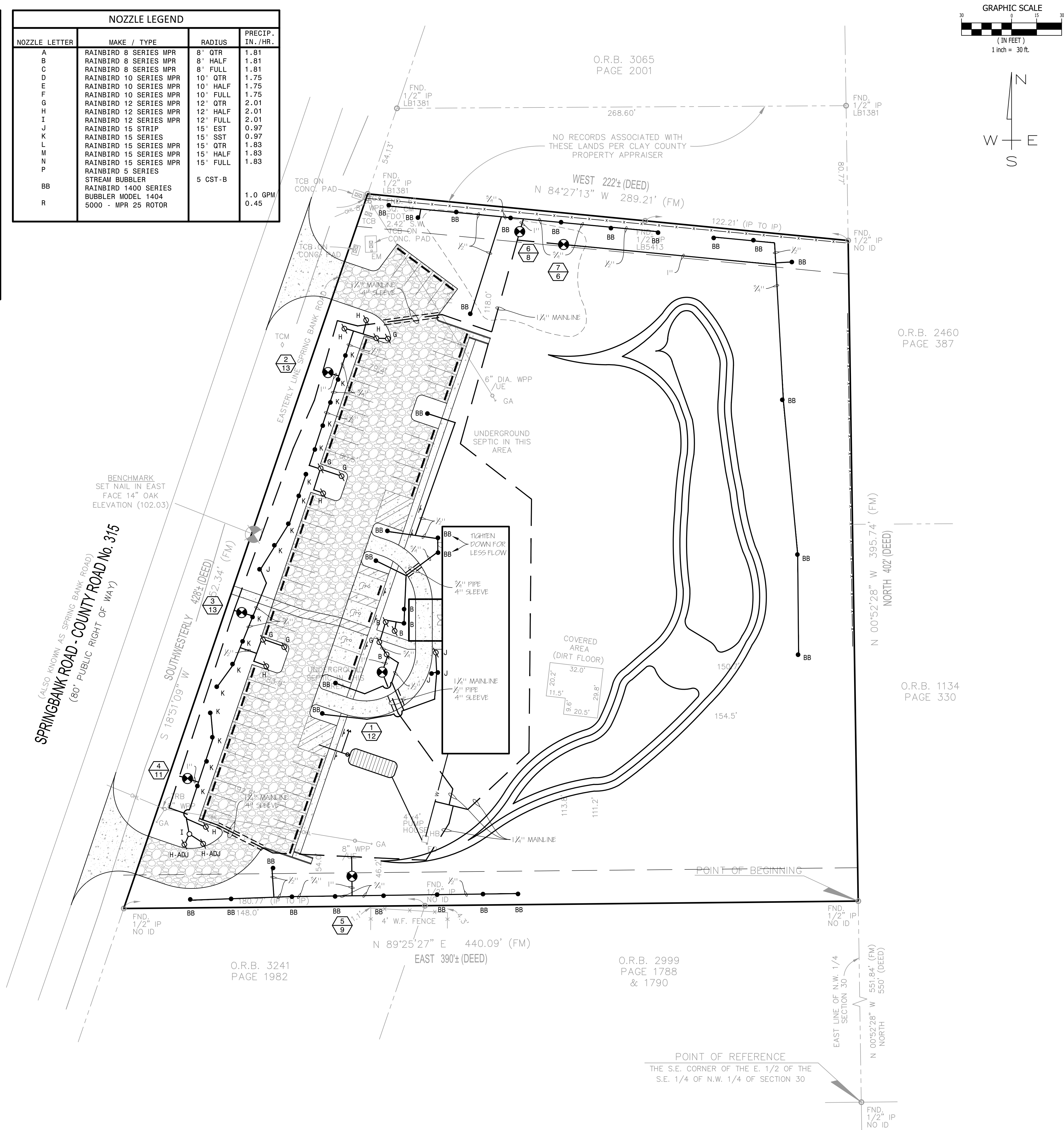
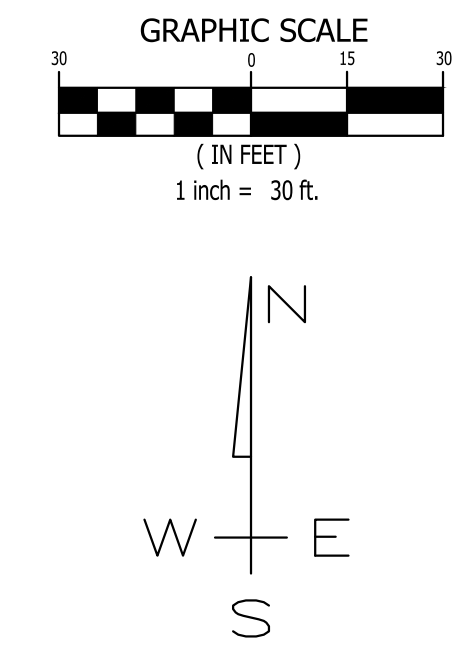
DAY 1 - 30: RUN IRRIGATION EVERY DAY
 DAY 21 - 60: RUN IRRIGATION EVERY OTHER DAY
 DAY 61 - ON: RUN IRRIGATION PER TIME OF YEAR BELOW

* BETWEEN DECEMBER THROUGH FEBRUARY, WATER ONLY ON TUESDAY, AND APPLY 3/4" OR LESS PER WEEK.
 * BETWEEN MARCH THROUGH NOVEMBER, WATER ONLY TUESDAY AND FRIDAY AND APPLY ONLY 1/2" OR LESS EACH WATERING DAY.

HIGH VOLUME IRRIGATION (SPRAY HEADS)	2%
LOW VOLUME IRRIGATION (DRIP, BUBBLERS, ROTORS AND NON-IRRIGATED AREAS)	98%

BUB IS A TREE BUBBLER ZONE

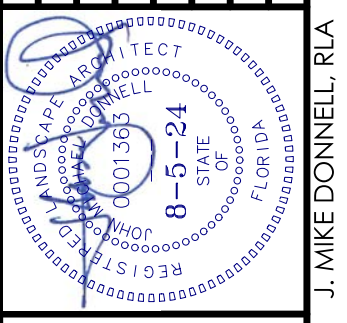
PIPES AND VALVES SHOWN OUTSIDE OF THE PROPERTY LINES OR LANDSCAPE BEDS FOR GRAPHIC CLARITY ONLY.



GRACE MISSIONARY BAPTIST CHURCH
 4489 SPRINGBANK RD
 GREEN COVE SPRINGS, FLORIDA
 IRRIGATION PLAN

Donnell Landscape Design, Inc.
 5617 Salerno Road, Jacksonville, FL 32244
 Cell: 904.333.2342

NO.	DATE	BY	REVISIONS
1	12/14/23	JMD	PER COUNTY COMMENTS
2	12/15/24	JMD	ADJUSTED IRRIGATION FOR NEW TREE LAYOUT



Date: 03/28/23
 Scale: 1" = 30'
 Drawn: DAF
 Checked by: JMD
 Sheet: L-3



BOA Application # 26-0004 Staff Report

Copies of the application are available at the Clay County Administrative Offices, 3rd floor, located at 477 Houston Street, Green Cove Springs, Fl 32043

Applicant Information

BOA Date: April 30, 2026

Owner: Dr. Eugene Harrell McCoskey II
Agent: Kelly Hartwig

Property Information

Parcel ID: 26-04-25-008653-000-00
Zoning: UC-10 (Urban Core (10))
Land Use: RB (Single-Family Residential)
Commission District: District 3 Jim Renninger

Land Development Code Requirement

Article III, Section 3-17(f)(7) limits the maximum percentage of lot coverage to 30 percent.

Applicant Request

According to the provided site plan, the 29,924.99 square foot parcel would be permitted to have a maximum lot coverage of 8,977.49 square feet (30%). The request is to exceed this maximum by 987 square feet to allow for the installation of a solid roof over the pool area. The requested maximum would be 9,964.497 square feet which amounts to 33.3% lot coverage.

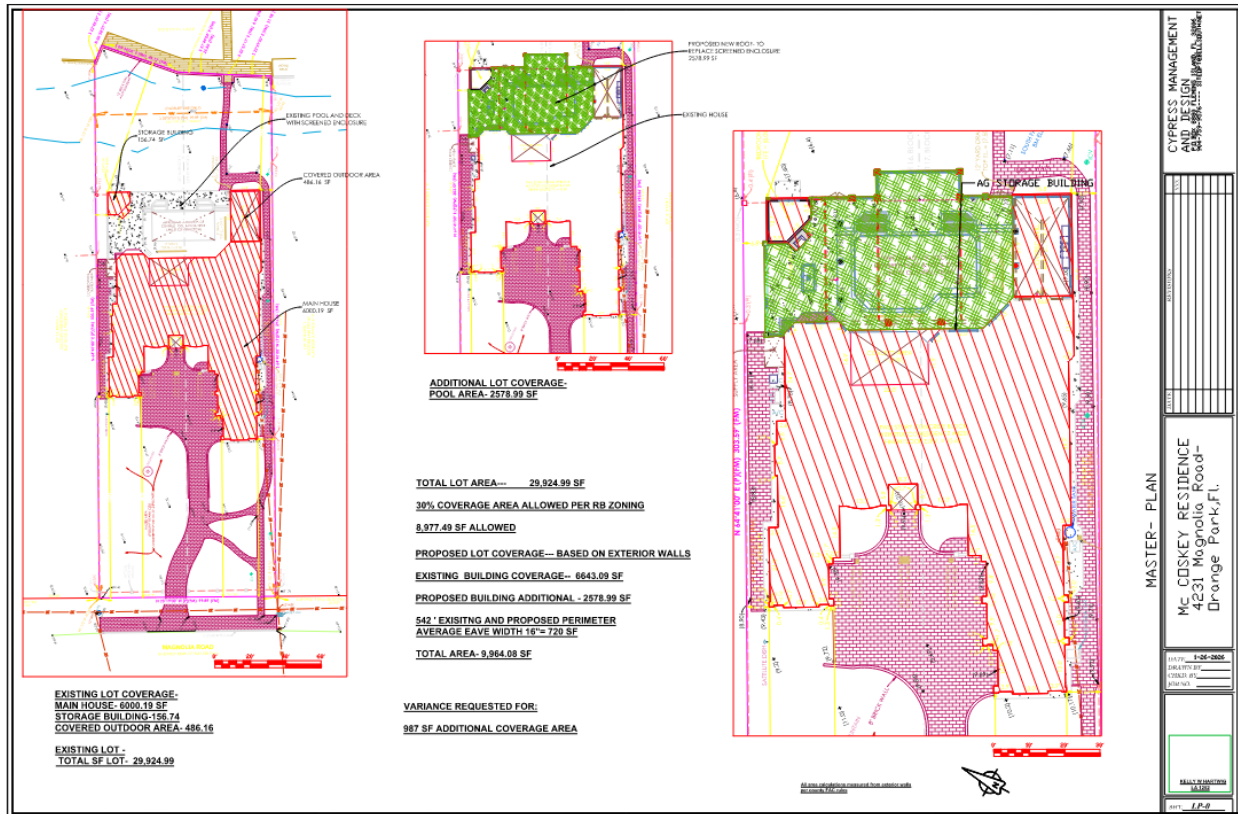
Staff Assessment and Recommendation

The parcel is located on the east side of Magnolia Road and is part of the Doctors Lake Estates subdivision. The square footage of the current home with the screen enclosure over the pool area is less than the 30% maximum lot coverage. Screen enclosure and the pool area are not factored into lot coverage. The request to construct a solid roof over the pool area would exceed the maximum lot coverage by approximately 3% and would increase the parcel's impervious area.

Aerial Image from Property Appraiser's Report



Site Plan



Staff offers discussion on the six criteria from the Land Development Code that **must be** present in order to approve a variance.

Variance Requirements

Section 12-9 of the LDC sets for the procedures and criteria for consideration of approval for a variance.

The Board of Adjustment may authorize a variance from the terms of the ordinances adopted pursuant to Chapter 163 when such variance will not be contrary to the public interest. The Board of Adjustment must first determine whether the need for the variance arises out of the physical surroundings, shape, topographic condition or other physical or environmental conditions that are limited to the specific property involved. In order to authorize any variance from the terms of the ordinance adopted pursuant to Chapter 163, the Board of Adjustment shall find:

- 1) **That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.**

There are no unique conditions of the land, structure or building.

- 2) That the special conditions and circumstances do not result from the actions of the applicant.

The property owner is choosing to replace the current screen enclosure over the pool area with a solid roof to increase shade from the sun and for health reasons.

- 3) That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings, or structures in the same zoning district.

The granting of the variance will confer on the applicant a privilege denied to other properties who would be limited to a maximum lot coverage of 30%.

- 4) That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by the other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant.

The literal interpretation of the ordinance would not deprive the applicant of rights commonly enjoyed by other property owners.

- 5) That the variance granted is the minimum variance that will make possible the beneficial use of the land, building or structure.

The requested variance would allow for the installation of roof over the pool area which is primarily surrounded by the existing house, covered outdoor area and storage building. There is minimal expansion into the rear yard beyond the existing structures and would not impact neighboring property viewsheds.

- 6) That the granting of the variance will be in harmony with the general intent and purposes of these ordinances and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The request states that the need for the solid roof is to shade from the sun for health reasons. Public welfare should not be impacted provided runoff from the additional roof is directed away from neighboring properties.



Agenda Item
BOARD OF ADJUSTMENT

Clay County Administration Building
Thursday, April 30 5:00 PM

TO: Board of Adjustment
Members

DATE:

FROM: Beth Carson, Director,
Planning and Zoning

SUBJECT: A request to exceed the maximum lot coverage by 987 square feet.

AGENDA ITEM TYPE:

BACKGROUND INFORMATION:

The parcel is located on the east side of Magnolia Road.

Planning Requirements:

Public Hearing Required (Yes\No):

Hearing Type:

Initiated By:Applicant

Kelly Hartwig, Agent

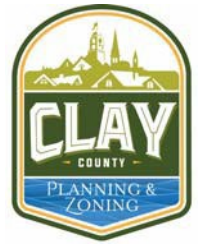
ATTACHMENTS:

Description	Type	Upload Date	File Name
▢ Application Agent	Backup Material	4/24/2026	Updated_Application_(1)dsada_(1).pdf
▢ Authorization Letter	Backup Material	4/22/2026	agentauthorization23_v2_(1)dsada.pdf
▢ Survey	Backup Material	4/22/2026	Survey_v1_(3)_(1)dsada.pdf
▢ BOA 26-0004 Staff Report	Backup Material	4/22/2026	BOA_26-0004_STAFF_Report_dsada.pdf



**Department of Economic and Development Services
Planning & Zoning Division**

P.O. Box 1366, Green Cove Springs, FL 32043
Phone: (904) 284-6300
www.claycountygov.com



BOARD OF ADJUSTMENT APPLICATION

Owner's Name: Dr. Eugene Harrell McCoskey II or Sabrina McCoskey		
Owner's Address: 4231 Magnolia Road		
City: Orange Park	State: FL	Zip Code: 32065
Phone:	Email:	
<i>Parcel Information</i>		
Parcel ID #: 26-04-008653-000-00	<input checked="" type="checkbox"/> Check here if Address is Same as Owner's	
Parcel Address:		
<i>Authorized Agent Information (If Applicable)</i>		
Agent's Name: Kelly Hartwig		
Agent's Address: PO Box 8880		
City: Fleming Island	State: FL	Zip Code: 32006
Phone: 9047599576	Email: siteopt@bellsouth.net	
<input type="checkbox"/> Check here that the Owner's Agent Authorization Form has been Completed & will be filed with this Application		
<i>Nature of the Variance / Appeal Request</i>		
Please describe the request or appeal. Include the Section of the Code from which a variance is requested.		
<p>Maximum Lot Coverage Variance, The owners pool- pool deck and area is existing. It was covered with a Screened enclosure- which had to be removed to age and conditions. The owners are not seeking any additional Impervious area. They need a replace the screened enclosure with a solid roof to increase shade the pool from the sun for health reasons.</p>		

County Manager: Howard Wanamaker

*District 1
Mike Cella*

*District 2
Alexandra Compere*

*District 3
Jim Reminger*

*District 4
Betsy Condon*

*District 5
Dr. Kristen Burke*

Required Attachments

I have provided the required attachments: Property Deed with Legal Description Survey
 Agent Authorization if applicable

Applicant Certification

I, hereby, certify that I am the Owner(s) of the property described herein, that all answers to the questions in this application and all information contained in the material attached to, and made a part of this application, are accurate and true to the best of my knowledge and belief. Furthermore, if the package is found inconsistent with the above requirements, I understand that the application will be returned for correct information. I hereby acknowledge that the variance requested is my choice and have reviewed and agreed to all conditions listed in this application and the requirements in Article XII (12-10) of the Clay County Land Development Code. I also understand that the fees paid are non-refundable. For public notification, I acknowledge that the required SIGN(S) must be posted on the property by the Owner or Agent twenty-one (21) days in advance of the date of the public hearing. **The sign(s) may be removed only after final action of the Board of Adjustment and Appeals and must be removed within ten (10) days of such action.** I must also pay for the required public notice stating the nature of the proposed request which is required to be published in an approved newspaper **AT LEAST FIFTEEN (15) DAYS IN ADVANCE OF THE PUBLIC HEARING.** Advertising costs are payable by the applicant directly to the newspaper. Proof of publication is required prior to the public hearing.

Owner Signature:  Date: **04/21/2026** Print Name: eugene mccoskey
eugene mccoskey (Apr 22, 2026 16:58:21 EDT)

Official Use

Zoning:	Land Use:	Application # BOA:
BOA Meeting Date:	Fees: <input type="checkbox"/> Residential (\$300.00) <input type="checkbox"/> Non-Residential (\$500.00)	
	# of Signs _____ x \$30.00 Per Sign = \$ _____	
	Total Fee: \$ _____	
Application Accepted By:		Date:

This area is reserved for future use.






BOA Application4-22-26

Final Audit Report

2026-04-22

Created:	2026-04-22
By:	Clayton Hartwig (chartwig93@outlook.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAARhctaiTYbbjohPg_Lwosv1fJdiPtY6JU

"BOA Application4-22-26" History

-  Document created by Clayton Hartwig (chartwig93@outlook.com)
2026-04-22 - 8:00:43 PM GMT- IP address: 143.105.21.78
-  Document emailed to eugene mccoskey (sdawnmccoskey@gmail.com) for signature
2026-04-22 - 8:02:17 PM GMT
-  Email viewed by eugene mccoskey (sdawnmccoskey@gmail.com)
2026-04-22 - 8:57:11 PM GMT- IP address: 172.226.188.35
-  Document e-signed by eugene mccoskey (sdawnmccoskey@gmail.com)
Signature Date: 2026-04-22 - 8:58:21 PM GMT - Time Source: server- IP address: 107.115.227.81
-  Agreement completed.
2026-04-22 - 8:58:21 PM GMT

Agent Authorization Letter



Date: 2/3/2026

Clay County Board of County Commissioners
Division of Planning and Zoning
Attention: Zoning Chief
P.O. Box 1366
Green Cove Springs, FL 32043

Re: Board of Adjustment and Appeals Agent Authorization for Application: 4231 Magnolia RD, Orange Park, FL, 32065/ Maximum Lot Coverage

To Whom it May Concern:

Be advised that I am the lawful owner of the property described in the aforementioned application attached hereto. As the owner, I hereby authorize and empower Kelly Hartwig to act as agent to file application(s) for the Board of Adjustment and to act on my behalf for the aforementioned Board of Adjustment and Appeals application.

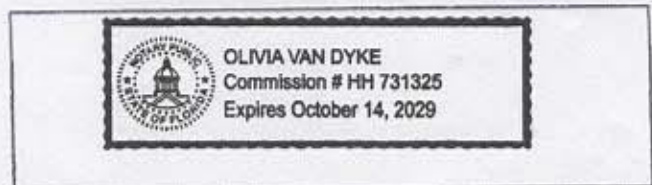
Sabrina McCoskey Signed By Print Name: Sabrina McCoskey Date: 02/18/2026

STATE OF FLORIDA
COUNTY OF CLAY

The foregoing affidavit was sworn and subscribed before me this 18 day of February (month), 2026 (year) by Sabrina McCoskey, who is personally known to me or has produced Florida drivers license as identification.

Olivia van Dyke
(Notary Signature)

Seal



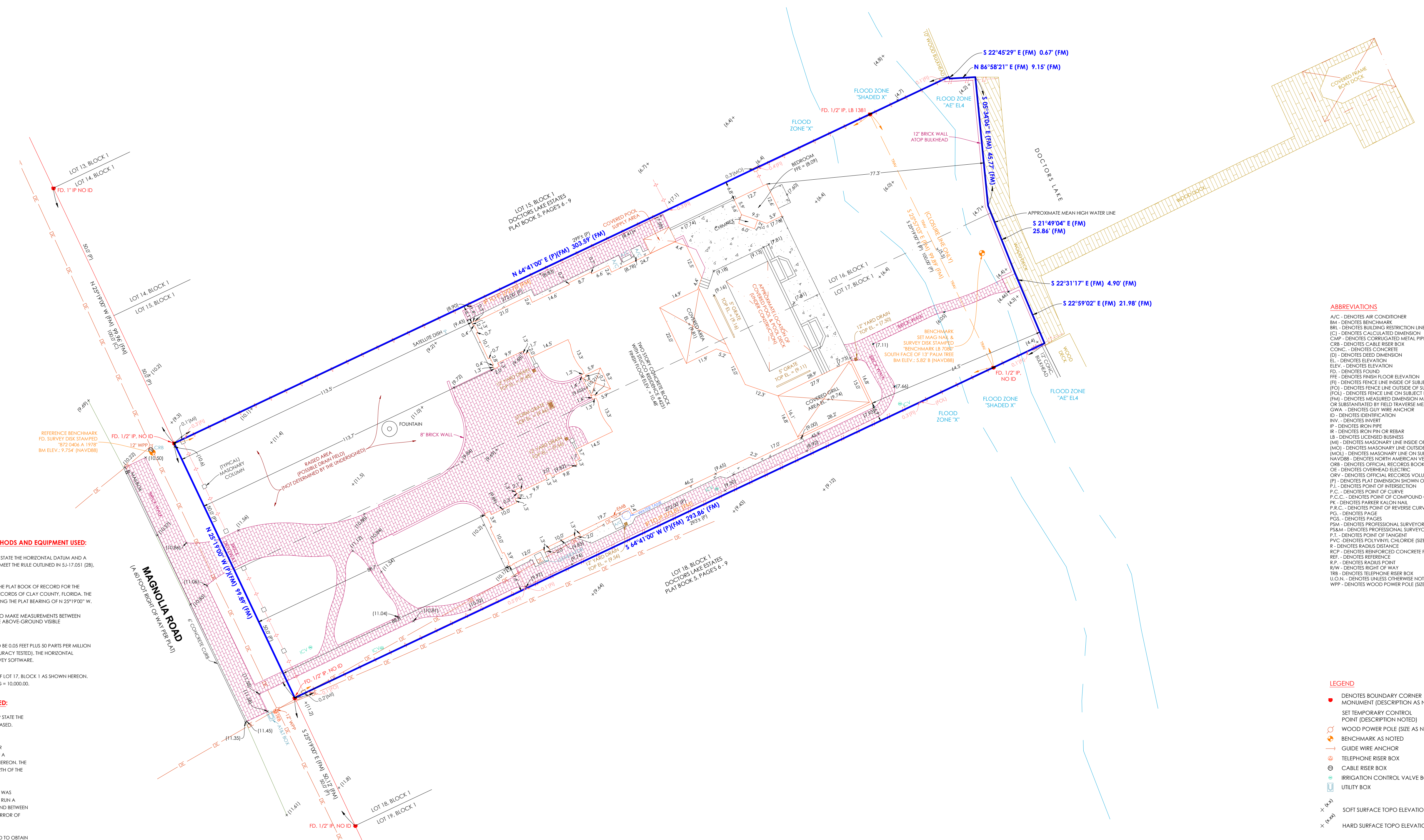
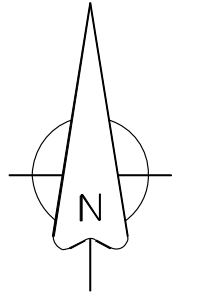
MAP SHOWING BOUNDARY AND TOPOGRAPHIC SURVEY OF

SURVEYED PROPERTY

LOTS 16 AND 17, BLOCK 1, DOCTORS LAKE ESTATES, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGES 6 THROUGH 9, OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA

THIS SURVEY CERTIFIED TO:

EUGENE HARRELL McCOSKEY III & SABRINA McCOSKEY



NOTES FOR HORIZONTAL DATUM, BASIS OF BEARING, HORIZONTAL ACCURACIES, METHODS AND EQUIPMENT USED:

A REQUIREMENT OF THE FLORIDA STANDARDS OF PRACTICE RULE 5-1.7.2(3) (28) REQUIRES THAT THIS SURVEY MAP STATE THE HORIZONTAL DATUM AND A DETAILED DESCRIPTION OF THE HORIZONTAL CONTROL UPON WHICH THIS SURVEY MAP IS BASED. THEREFORE, TO MEET THE RULE OUTLINED IN 5-1.7.2(3) (28), THE FOLLOWING NOTES ARE PROVIDED:

H1. THE FIELD-MEASURED BEARINGS HAVE A SUFFIX OF (FM), THE BEARINGS WITH A SUFFIX OF (PI) ARE BASED ON THE PLAT BOOK OF RECORD FOR THE SURVEYED PROPERTY AND ARE PUBLISHED IN PLAT BOOK 5, PAGES 6 THROUGH 9 AS RECORDED IN THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA. THE BASIS OF BEARING FOR THE SURVEY IS ALONG THE NORTHEASTERLY RIGHT OF WAY LINE OF MAGNOLIA ROAD, BEING THE PLAT BEARING OF N 22°19'00" W.

H2. A SOKKIA SET3230RM TOTAL STATION WITH CARLSON SURVPC SOFTWARE ON AN R14 TABLET WAS USED TO MAKE MEASUREMENTS BETWEEN TEMPORARY CONTROL POINTS AND BOUNDARY MONUMENTS. THE SAME EQUIPMENT WAS USED TO LOCATE ABOVE-GROUND VISIBLE IMPROVEMENTS.

H3. THE HORIZONTAL ACCURACY FOR ALL CONTROL POINTS AND BOUNDARY MONUMENTS WAS DETERMINED TO BE 0.05 FEET PLUS 50 PARTS PER MILLION AT THE 95 PERCENT CONFIDENCE LEVEL (BASED ON THE DIRECT DISTANCE BETWEEN THE TWO POINTS BEING ACCURACY TESTED). THE HORIZONTAL ACCURACY WAS TESTED BY PERFORMING A LEAST SQUARE SURVEY ADJUSTMENT BY UTILIZING THE CARLSON SURVEY SOFTWARE.

H4. THIS SURVEY WAS BASED ON AN ASSUMED COORDINATE DATUM, ORIGINATING AT THE SOUTHWEST CORNER OF LOT 17, BLOCK 1, AS SHOWN HEREON. THE COORDINATE VALUES FOR SAID SOUTHWEST CORNER ARE AS FOLLOWS: NORTHING = +10,000.00 AND EASTING = +10,000.00.

NOTES FOR VERTICAL DATUM, VERTICAL ACCURACIES, METHODS AND EQUIPMENT USED:

A REQUIREMENT OF THE FLORIDA STANDARDS OF PRACTICE RULE 5-1.7.2(3) (28) REQUIRES THAT THIS SURVEY MAP STATE THE VERTICAL DATUM AND A DETAILED DESCRIPTION OF THE VERTICAL CONTROL UPON WHICH THIS SURVEY MAP IS BASED. THEREFORE, TO MEET THE RULE OUTLINED IN 5-1.7.2(3) (28), THE FOLLOWING NOTES ARE PROVIDED:

V1. THE REFERENCE BENCHMARK FOR THIS SURVEY WAS THE NATIONAL GEODESIC SURVEY (NGS) PASSIVE MARKER DESIGNATION (872 0436 A) WITH A POINT IDENTIFICATION OF (BC1437). THE MARK IS A SURVEY DISK SET IN TOP OF A CONCRETE MONUMENT NEAR THE NORTH PROPERTY LINE OF RESIDENCE AT 4231 MAGNOLIA ROAD AS SHOWN HEREON. THE SURVEY DISK IS LOCATED 21 FEET EAST OF THE APPROXIMATE CENTERLINE OF MAGNOLIA ROAD AND 43 FEET NORTH OF THE DRIVEWAY OF SAID RESIDENCE. THE PUBLISHED ELEVATION OF THE MARK IS 9.754 FEET (NAVD88).

V2. THE ELEVATION FOR THE TEMPORARY CONTROL POINTS AND THE ON-SITE BENCHMARKS, AS SHOWN HEREON, WAS ESTABLISHED BY UTILIZING A LEICA N420S AUTOMATIC OPTICAL LEVEL WITH A 25-FOOT FERRUGENUS LEVEL ROD TO RUN A DIFFERENTIAL CLOSED LEVEL LOOP BETWEEN THE REFERENCE BENCHMARK, AS DESCRIBED IN VERTICAL NOTE #1 AND BETWEEN THE TEMPORARY CONTROL POINTS AND THE ON-SITE BENCHMARK AS SHOWN HEREON. THE VERTICAL CLOSING ERROR OF THE DIFFERENTIAL CLOSED LEVEL LOOP WAS DETERMINED TO BE 0.01 FEET.

V3. A SOKKIA SET3230RM TOTAL STATION WITH CARLSON SURVPC SOFTWARE ON AN R14 TABLET, WAS UTILIZED TO OBTAIN ON-SITE SPOT ELEVATIONS.

GENERAL NOTES:

1. THIS MAP HAS TWO PARTS; THE FIRST PART IS A BOUNDARY SURVEY MAP AND A RETRACEMENT SURVEY MADE ON THE PARCEL LINES OF LOTS 16 AND 17, BLOCK 1, DOCTORS LAKE ESTATES, AS RECORDED IN PLAT BOOK 5, PAGES 6 THROUGH 9 OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA; THE SECOND PART IS A TOPOGRAPHICAL SURVEY MAP.
2. THE LEGAL DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
3. THIS SURVEY MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. THEREFORE, THERE MAY BE EASEMENTS, COVENANTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD OR UNRECORDED MATTERS NOT SHOWN ON THIS MAP.
4. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
5. THE EXTENT OF THIS TOPOGRAPHIC SURVEY IS WITHIN THE PARCEL LIMITS OF LOTS 16 AND 17, BLOCK 1, DOCTORS LAKE ESTATES, AS RECORDED IN PLAT BOOK 5, PAGES 6 THROUGH 9 OF THE PUBLIC RECORDS OF CLAY COUNTY, FLORIDA. A PORTION OF THIS TOPOGRAPHIC SURVEY ALSO COVERS AN AREA LYING WITHIN THE RIGHT-OF-WAY OF MAGNOLIA ROAD, WHICH IS IMMEDIATELY ADJACENT TO THE ABOVE-DENOTED PARCEL OF LAND.
6. ELEVATIONS AND BENCHMARKS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE U.S. SURVEY FEET.
7. THIS SURVEY MAP SHOWS ABOVE-GROUND VISIBLE IMPROVEMENTS ONLY, AND NO ATTEMPT WAS MADE TO LOCATE OR SHOW ANY UNDERGROUND IMPROVEMENTS, FOOTERS, OR UNDERGROUND UTILITIES SERVING OR CROSSING THE SURVEYED PROPERTY.
8. THE MAP SYMBOLS SHOWN HEREON MAY NOT REPRESENT THEIR TRUE SIZES OR SHAPES AND MAY BE EXAGGERATED FOR THE SAKE OF LEGIBILITY.
9. THE SURVEY MAP IS INTENDED TO BE DISPLAYED IN COLOR AT A HORIZONTAL SCALE OF 1" = 20'.
10. ALL DISTANCES SHOWN ON THIS MAP ARE UNITED STATES SURVEY FEET.
11. UNLESS OTHERWISE NOTED, ANY PORTION OF THE PARCEL THAT MAY BE DEEMED AS WETLANDS BY STATE OR GOVERNMENT AGENCIES HAS NOT BEEN DETERMINED, AND ANY LIABILITY RESULTING THEREFROM IS NOT THE RESPONSIBILITY OF THE UNDERSIGNED.

FLOOD ZONE - BASED ON FLOOD INSURANCE RATE MAP:

THE SURVEYOR HAS REVIEWED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP (FIRM), AND THE LANDS SURVEYED HEREON ARE SITUATED IN FLOOD ZONE "X", SHADING "X" AND "AE" AS SHOWN ON THE MAP OF COMMUNITY PANEL NUMBER 12004-01-60E, WHICH IS DATED MARCH 17, 2014.

ABBREVIATIONS

- AC - DENOTES AIR CONDITIONER
- BM - DENOTES BENCHMARK
- BRL - DENOTES BUILDING RESTRICTION LINE
- CL - DENOTES CALCULATED DIMENSION
- CMP - DENOTES CORRUGATED METAL PIPE
- CR - DENOTES CABLE RISER BOX
- CONC - DENOTES CONCRETE
- ED - DENOTES EASEMENT DIMENSION
- EL - DENOTES ELEVATION
- FE - DENOTES FINISH FLOOR ELEVATION
- FF - DENOTES FINISH FLOOR ELEVATION
- FI - DENOTES FENCE LINE INSIDE OF SUBJECT PROPERTY LINE
- FO - DENOTES FENCE LINE OUTSIDE OF SUBJECT PROPERTY LINE
- FM - DENOTES MEASURED DIMENSION MADE IN FIELD OR SUBSTITUTED BY FIELD MEASURED MEASUREMENTS
- GWA - DENOTES GUY WIRE ANCHOR
- IC - DENOTES IDENTIFICATION
- INV - DENOTES INVERT
- IP - DENOTES IRON PIPE
- IR - DENOTES IRON PIN OR REBAR
- LB - DENOTES LICENSED BUSINESS
- MB - DENOTES MASONRY LINE INSIDE OF SUBJECT PROPERTY LINE
- MO - DENOTES MASONRY LINE OUTSIDE OF SUBJECT PROPERTY LINE
- MOB - DENOTES MASONRY LINE ON SUBJECT PROPERTY LINE
- NAVD88 - DENOTES NORTH AMERICAN VERTICAL DATUM OF 1988
- ORB - DENOTES OFFICIAL RECORDS BOOK
- OE - DENOTES OVERHEAD ELECTRIC
- ORV - DENOTES OFFICIAL RECORDS VOLUME
- PI - DENOTES PLAT DIMENSION SHOWN ON RECORDED PLAT
- P.I. - DENOTES POINT OF INTERSECTION
- P.C. - DENOTES POINT OF CURVE
- P.C.C. - DENOTES POINT OF COMPOUND CURVE
- P.C.P. - DENOTES POINT OF REVERSE CURVE
- P.C.R. - DENOTES POINT OF REVERSE CURVE
- P.C. - DENOTES PAGE
- PGS - DENOTES PAGES
- PSM - DENOTES PROFESSIONAL SURVEYOR AND MAPPER
- PSAM - DENOTES PROFESSIONAL SURVEYOR AND MAPPER
- P.I. - DENOTES POINT OF INTERSECTION
- PVC - DENOTES POLYVINYL CHLORIDE (SIZE AS NOTED)
- R - DENOTES RADIUS DISTANCE
- RCP - DENOTES REINFORCED CONCRETE PIPE (SIZE AS NOTED)
- RF - DENOTES REFERENCE
- R.P. - DENOTES RADIAL POINT
- TR - DENOTES TRAVELER BOX
- TB - DENOTES TELEPHONE RISER BOX
- U.D.N. - DENOTES UNLESS OTHERWISE NOTED
- WPP - DENOTES WOOD POWER POLE (SIZE AS NOTED)

LEGEND

- DENOTES BOUNDARY CORNER MONUMENT (DESCRIPTION AS NOTED)
- SET TEMPORARY CONTROL POINT (DESCRIPTION NOTED)
- ⊕ WOOD POWER POLE (SIZE AS NOTED)
- ⊕ BENCHMARK AS NOTED
- ⊕ GUIDE WIRE ANCHOR
- ⊕ TELEPHONE RISER BOX
- ⊕ CABLE RISER BOX
- ⊕ IRRIGATION CONTROL VALVE BOX
- ⊕ UTILITY BOX
- ⊕ SOFT SURFACE TOPO ELEVATION
- ⊕ HARD SURFACE TOPO ELEVATION
- DENOTES FIELD MEASURED BOUNDARY LINE
- DENOTES OVERHEAD ELECTRIC LINE
- DENOTES EASEMENT LINE
- DENOTES LINE NOT TO SCALE
- DENOTES CHAIN LINK FENCE
- DENOTES WIRE OR METAL FENCE
- DENOTES WOOD FENCE LINE
- DENOTES VINYL FENCE LINE
- DENOTES TRAVELER LINE
- DENOTES DITCH LINE
- DENOTES CONCRETE AREA
- DENOTES BRICK AREA
- DENOTES WOOD AREA

UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY, AND IS NOT VALID OR UNLESS THE ELECTRONIC IMAGE BEARS THE ELECTRONIC SIGNATURE AND SEAL OF A SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY, AND IS NOT VALID.

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE ESTABLISHED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 17-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

2309 STATE ROAD 13 NORTH,
JACKSONVILLE, FLORIDA 32259
PHONE: (904) 647-0948
LICENSED BUSINESS NO.: 7080
EMAIL: WES@CANNADYSURVEY.COM

JW Cannady SURVEYING INC.

MAP DATE: OCTOBER 30, 2025	JOB #: 25-095
FIELD DATE: OCTOBER 15, 2025	MAP SCALE: 1" = 20'
SHEET NUMBER: 1 OF 1	MAP NUMBER: D-1301

BY: JAMES W. CANNADY, PROFESSIONAL SURVEYOR & MAPPER, CERTIFICATE NO. 5586, STATE OF FLORIDA



BOA Application # 26-0004 Staff Report

Copies of the application are available at the Clay County Administrative Offices, 3rd floor, located at 477 Houston Street, Green Cove Springs, Fl 32043

Applicant Information

BOA Date: April 30, 2026

Owner: Dr. Eugene Harrell McCoskey II
Agent: Kelly Hartwig

Property Information

Parcel ID: 26-04-25-008653-000-00
Zoning: UC-10 (Urban Core (10))
Land Use: RB (Single-Family Residential)
Commission District: District 3 Jim Renninger

Land Development Code Requirement

Article III, Section 3-17(f)(7) limits the maximum percentage of lot coverage to 30 percent.

Applicant Request

According to the provided site plan, the 29,924.99 square foot parcel would be permitted to have a maximum lot coverage of 8,977.49 square feet (30%). The request is to exceed this maximum by 987 square feet to allow for the installation of a solid roof over the pool area. The requested maximum would be 9,964.497 square feet which amounts to 33.3% lot coverage.

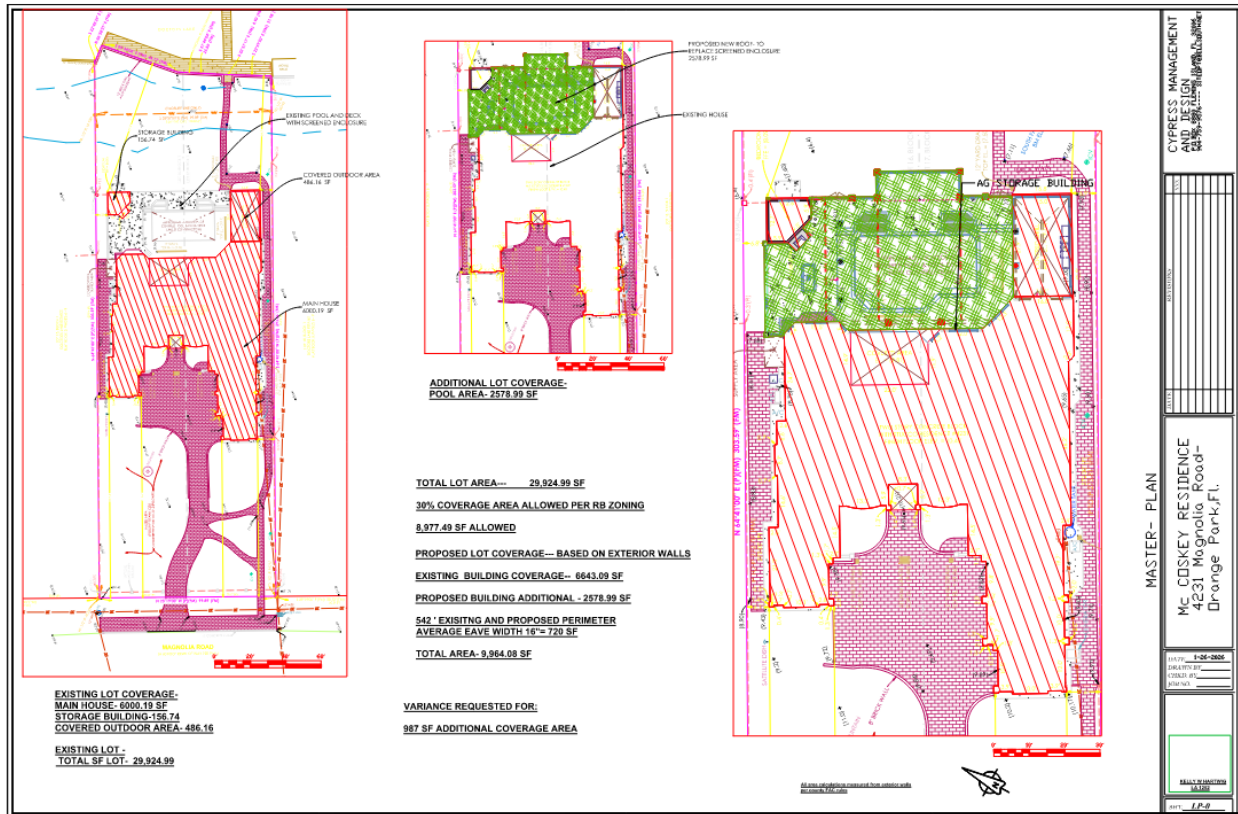
Staff Assessment and Recommendation

The parcel is located on the east side of Magnolia Road and is part of the Doctors Lake Estates subdivision. The square footage of the current home with the screen enclosure over the pool area is less than the 30% maximum lot coverage. Screen enclosure and the pool area are not factored into lot coverage. The request to construct a solid roof over the pool area would exceed the maximum lot coverage by approximately 3% and would increase the parcel's impervious area.

Aerial Image from Property Appraiser's Report



Site Plan



Staff offers discussion on the six criteria from the Land Development Code that **must be** present in order to approve a variance.

Variance Requirements

Section 12-9 of the LDC sets for the procedures and criteria for consideration of approval for a variance.

The Board of Adjustment may authorize a variance from the terms of the ordinances adopted pursuant to Chapter 163 when such variance will not be contrary to the public interest. The Board of Adjustment must first determine whether the need for the variance arises out of the physical surroundings, shape, topographic condition or other physical or environmental conditions that are limited to the specific property involved. In order to authorize any variance from the terms of the ordinance adopted pursuant to Chapter 163, the Board of Adjustment shall find:

- 1) **That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.**

There are no unique conditions of the land, structure or building.

- 2) That the special conditions and circumstances do not result from the actions of the applicant.

The property owner is choosing to replace the current screen enclosure over the pool area with a solid roof to increase shade from the sun and for health reasons.

- 3) That granting the variance requested will not confer on the applicant any special privilege that is denied by this ordinance to other lands, buildings, or structures in the same zoning district.

The granting of the variance will confer on the applicant a privilege denied to other properties who would be limited to a maximum lot coverage of 30%.

- 4) That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by the other properties in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant.

The literal interpretation of the ordinance would not deprive the applicant of rights commonly enjoyed by other property owners.

- 5) That the variance granted is the minimum variance that will make possible the beneficial use of the land, building or structure.

The requested variance would allow for the installation of roof over the pool area which is primarily surrounded by the existing house, covered outdoor area and storage building. There is minimal expansion into the rear yard beyond the existing structures and would not impact neighboring property viewsheds.

- 6) That the granting of the variance will be in harmony with the general intent and purposes of these ordinances and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The request states that the need for the solid roof is to shade from the sun for health reasons. Public welfare should not be impacted provided runoff from the additional roof is directed away from neighboring properties.